THE SANCTUARY AT MANCHESTER BY-THE-SEA



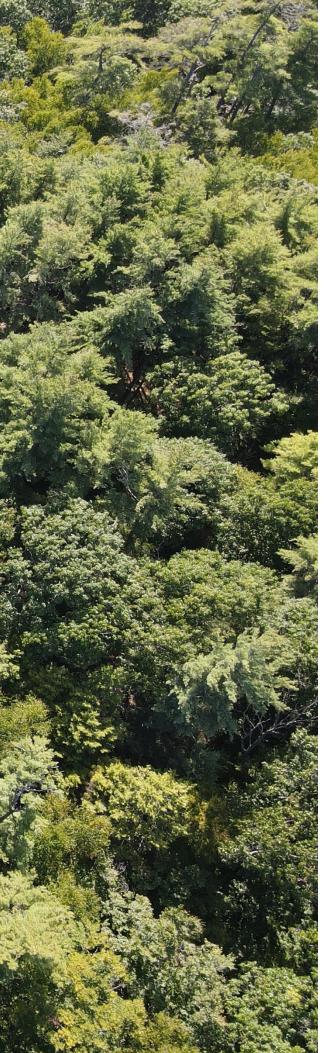
Presentation to the Manchester-By-The-Sea Board of Selectmen

October 29th 2020









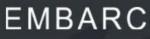
THE SANCTUARY AT MANCHESTER-BY-THE-SEA, MA

SLV SCHOOL STREET, LLC

OCTOBER 23, 2020







CHEEVER COMMONS **CONSERVATION AREA**

CATHEDRAL PINES

LOT 18 SCHOOL STREET

ESSEX COUNTY CLUB

CENTER OF TOWN

POWDER HOUSE HILL RESERVATION

MANCHESTER LIBRARY - MANCHESTER HISTORICAL MUSEUM - THE FIRST PARISH CHURCH MANCHESTER STATION





TOWN CONTEXT | EMBARC







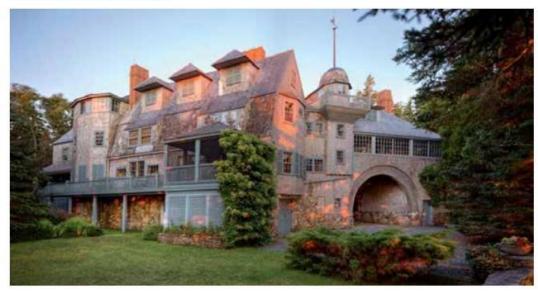
LOCAL CONTEXT | EMBARC



LOT 18 SCHOOL ST - LOT SF - 1,011,184 SF - ZONING DISTRICT - LCD - LAND USE CODE - 390



MANCHESTER LIBRARY



KRAGSYDE MUSEUM



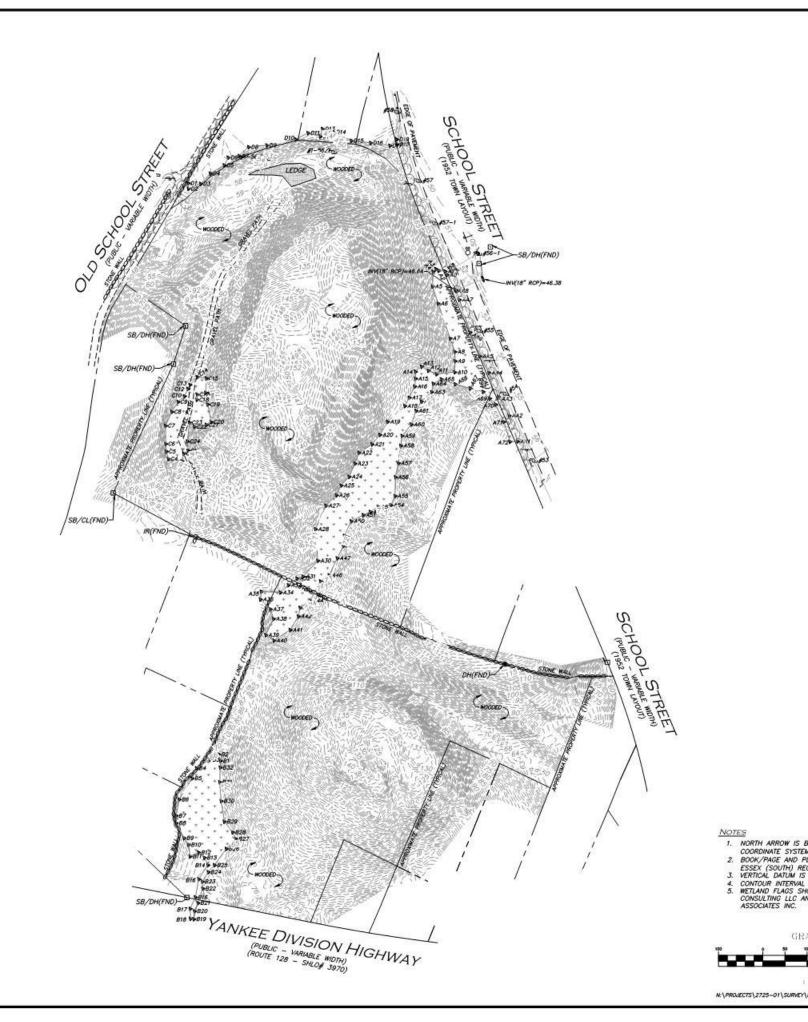
THE FIRST PARISH CHURCH



AERIAL OF COVE







UTILITY STATEMENT

UTILITY STATEMENT THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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<form></form>	ISSUED FOR REVIEW JANUARY 22, 2020	
APHLGANTVOWNER: SLV SCHOOL STREET, LLC 257 HILLSIDE AVENUE NEEDHAM, MA 02494 MORECI: ASSESSORS MAP 43, LOT 18 SCHOOL STREET MANCHESTER BY THE SEA, MA MORECT NO. 272540 DATE: 01/22/2020 SCALE 1'-107 DWG. NAME: 52725014C DRAFTED BY: KAC OHEORED BY: NE PURCHED BY: BY		
APHLGANTVOWNER: SLV SCHOOL STREET, LLC 257 HILLSIDE AVENUE NEEDHAM, MA 02494 MORECI: ASSESSORS MAP 43, LOT 18 SCHOOL STREET MANCHESTER BY THE SEA, MA MORECT NO. 272540 DATE: 01/22/2020 SCALE 1'-107 DWG. NAME: 52725014C DRAFTED BY: KAC OHEORED BY: NE PURCHED BY: BY		
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ASSESSORS MAP 43, LOT 18 SCHOOL STREET MANCHESTER BY THE SEA, MA MANCHESTER BY THE SEA, MA <u>MORECT NO. 272501</u> DATE: 01/22/2020 SCALE 1°-100 DWG. MAME: S272501-EC DRAFED BY: KA CHECKED BY: NE FURMED BY MARTED BY MARTED BY MARTED BY MARTED BY MARTED ASSOCIATES OF AN ANALYSIS MARTED BY MARTED BY	SLV SCHOOL STREET, LLC 257 HILLSIDE AVENUE NEEDHAM, MA 02494	
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VIEW OF EXISTING SITE FROM ROUTE 128 ON-RAMP - FACING NORTH

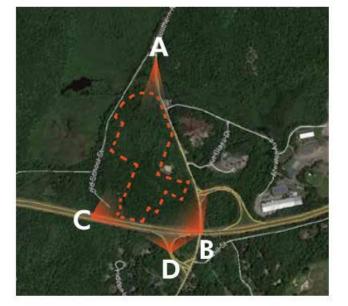


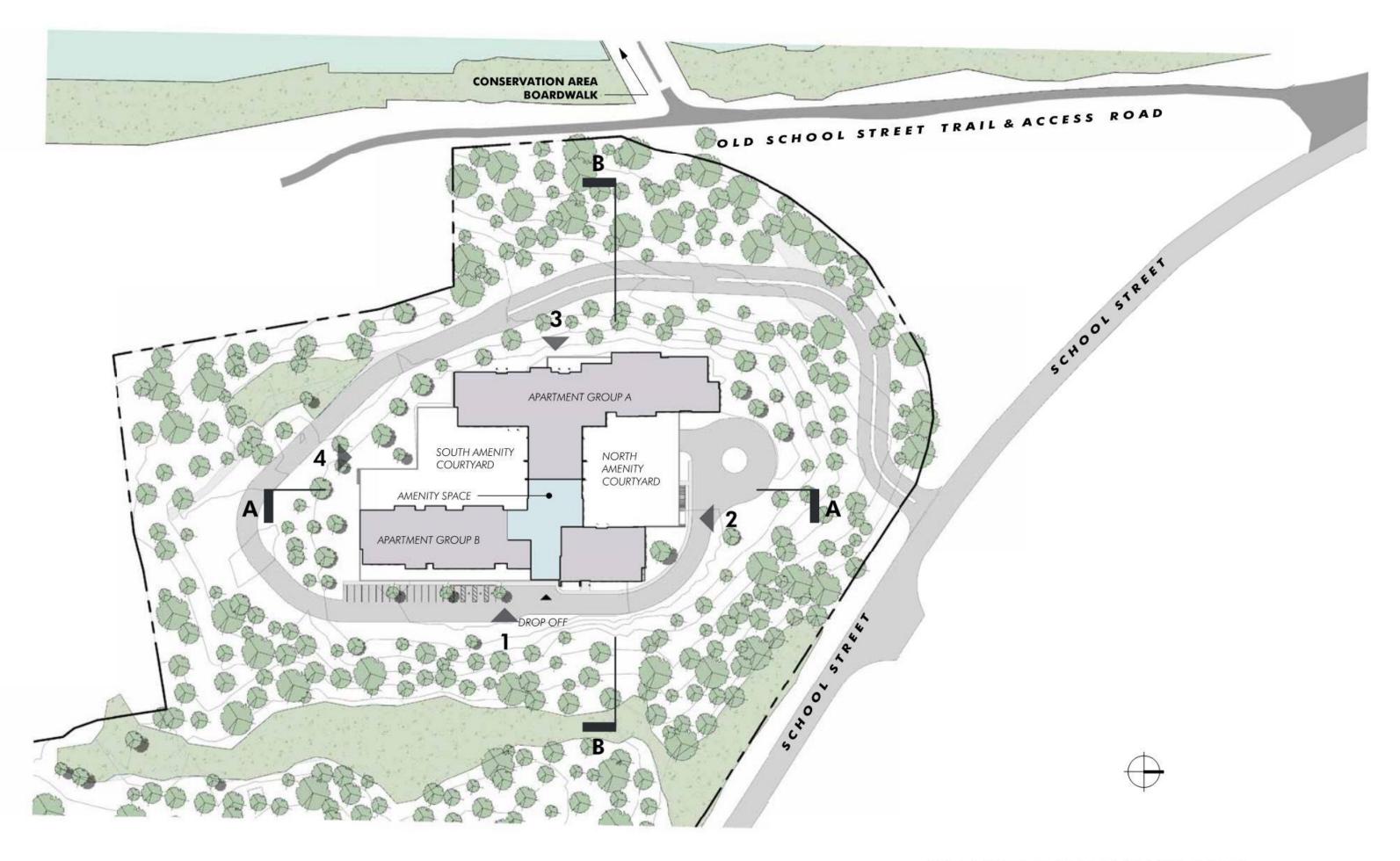
VIEW OF EXISTING SITE - ROUTE 128 - FACING EAST

SITE PHOTOS | EMBARC



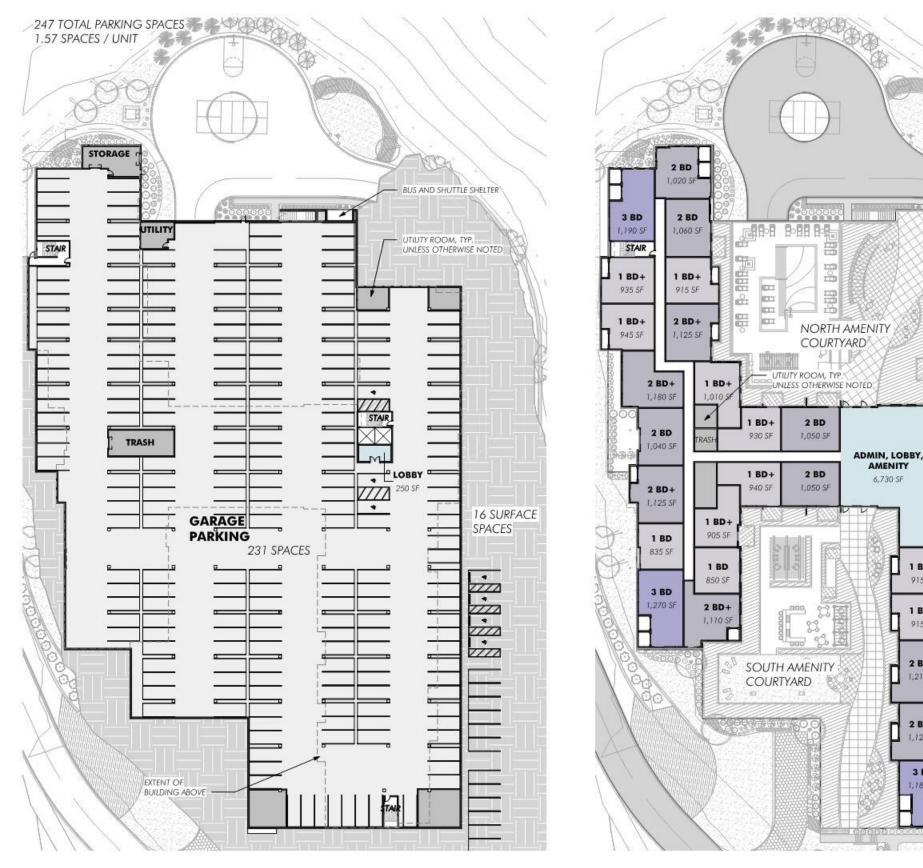






SITE LAYOUT PLAN | EMBARC





FIRST FLOOR PLAN **35 UNITS**

157 UNITS TOTAL

PARKING PLAN, FIRST FLOOR PLAN, AND SECOND FLOOR PLAN | EMBARC

1 BD+

930 SF

1 BD

855 SF

2 BD

,025 SF

ENTRY

LOBBY

ADMIN

905 SF

1 BD

825 SF

1 BD+

925 SF

1 BD+

935 SF

2 BD+

1,155 SF

2 BD+

1,175 SF

DROP OFF

3 BD

1,310 SF

1 BD

955 SF

STAIR

XX

1 BD+

915 SF

1 BD+

915 SF

2 BD+

2 BD+ 1,125 SF

3 BD

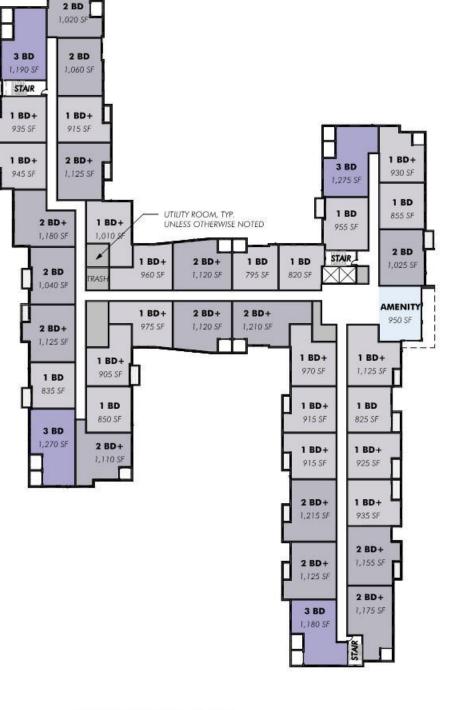
1,180 SF

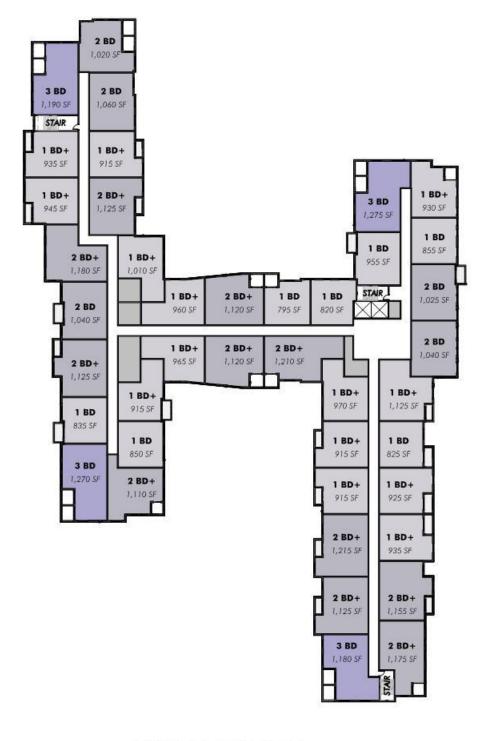
1,215 SF

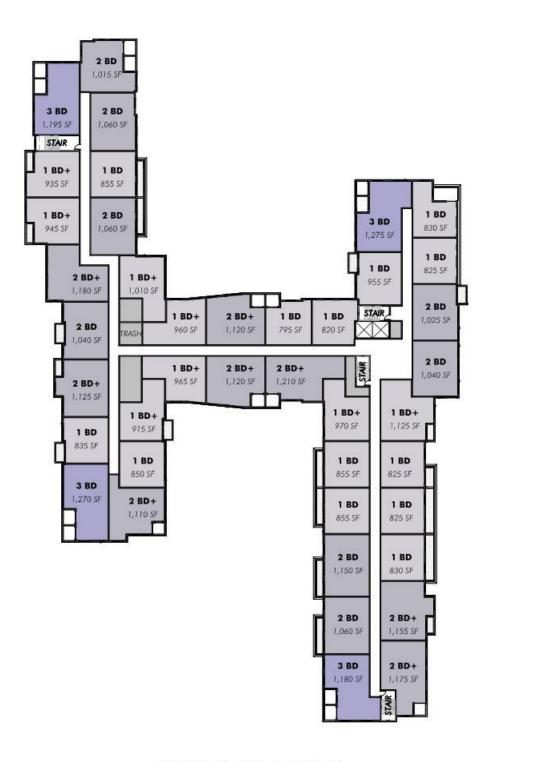
PARKING LEVEL PLAN



2ND FLOOR PLAN 40 UNITS





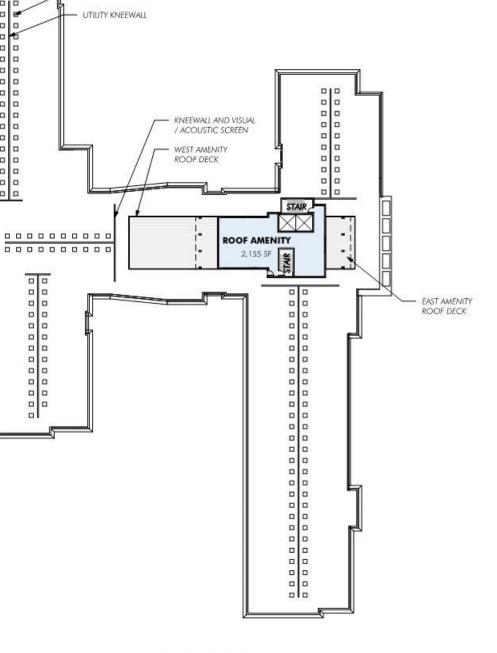


THIRD FLOOR PLAN 41 UNITS

FOURTH FLOOR PLAN 41 UNITS



ROOF PLAN ROOFTOP AMENITY SPACE AND DECKS



CONDENSING UNITS



THE SANCTUARY AT MANCHESTER BY THE SEA

Site Area	1,011,151 SF
	(0.000
1st Floor GSF	49,090
2nd Floor GSF	49,225
3rd Floor GSF	49,315
4th Floor GSF	48,585
5th Floor GSF	2,770
Total Building GSF	198,985
Parking Garage GSF	87,715
Total GSF w/ Parking	286,700
FAR	0.19
Typical Floor Plate	49,300 GSF
Site Coverage	19%
Building Height	62 FT 4 IN
Number of Stories	5
Total Parking Spaces	247
Garage Parking Spaces	231
	2000/241020
Surface Parking Spaces	16
Parking Ratio	1.5

Total Residential Units		157	
1 Bedroom	32	(20%)	850 SF Avg
1 Bedroom +	48	(31%)	960 SF Avg
2 Bedroom	23	(15%)	1,050 SF Avg
2 Bedroom +	38	(24%)	1,145 SF Avg
3 Bedroom	16	(10%)	1,240 SF Avo

Typical Residential Floor (3)	41	
1 Bedroom	7	
1 Bedroom +	14	
2 Bedroom	5	
2 Bedroom +	11	
3 Bedroom	4	

Inc	aar	Amonit	y Space	
Inc	1001	Amenii	y space	

South Amenity Deck North Amenity Deck Outdoor Amenity Deck

	10,740 GSF	
	16,600 GSF	-
	15,190 GSF	
(31,790 GSF	

PROJECT METRICS | EMBARC





FACADE COMPOSITION PRECEDENT | EMBARC



FACADE STRATEGY

THE FACADE COMPOSITION OF THE BUILDING IS A MODERN INTERPRETATION OF EARLY 20TH CENTURY SHINGLE STYLE ARCHITECTURE, A COMMON STYLE FOUND THROUGHOUT THE NORTH SHORE OF MASSACHUSETTS

SOME QUEUES WE ARE TAKING FROM THIS BUILDING STYLE:

-NEUTRAL AND NATURAL COLOR PALETTE

-CLAPBOARD BUILDING MATERIAL

-STRONG HORIZONTAL DATUM LINES

-BALCONIES AND WINDOWS INCORPORATED INTO HORIZONTAL BANDING

A11





SCHOOL ST. AND MA-27 INTERSECTION, MANCHESTER BY THE SEA

FACADE COMPOSITION PRECEDENT | EMBARC

FACADE STRATEGY

ALONG WITH SHINGLE STYLE ARCHITECTURE, THE DESIGN IS ALSO A RIFF ON THE ARCHITECTURAL STYLES PREVALENT IN THE HISTORIC CENTER OF MANCHESTER BY THE SEA

A.

CLAPBOARD AND TRIM DETAILING

В.

WINDOWS BANDED HORIZONTALLY BY TRIM. STRONG HORIZONTAL DATUM LINES CREATE "BANDS" IN FACADE. WINDOWS ARE ALIGNED HORIZONTALLY WITHIN BANDS.

C.

OUTDOOR SPACE "CUT OUT" FROM MASSING, AS OPPOSED TO BEING TACKED-ONTO MASSING





FACADE COMPOSITION STRATEGY | EMBARC

FACADE STRATEGY

THE BUILDING FACADE COMPOSITION IS A MODERN INTERPRETATION OF EARLY 20TH CENTURY SHINGLE STYLE ARCHITECTURE, AS WELL AS A RIFF ON THE HISTORIC ARCHITECTURE OF THE MANCHESTER TOWN-CENTER.

Α.

INCORPORATE SHINGLE STYLE DETAILING, LIKE FLAIRED CLAPBOARD SKIRT

В.

WINDOWS BANDED HORIZONTALLY BY TRIM. STRONG HORIZONTAL DATUM LINES

C.

BALCONIES AND GLAZING CUT INTO THE HORIZONTAL BANDING. BALCONY RAILINGS ARE INCORPORATED INTO CLAPBOARD BANDING

D.

PLANTING AREAS INTERACT WITH BAYS AT COURTYARD TO CREATE PRIVATE OUTDOOR SPACE FOR UNITS

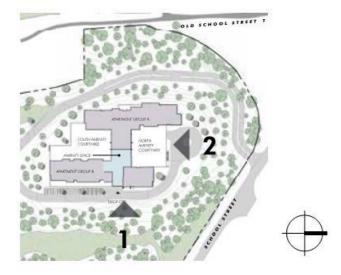
A13



1 - EAST ELEVATION



2 - NORTH ELEVATION



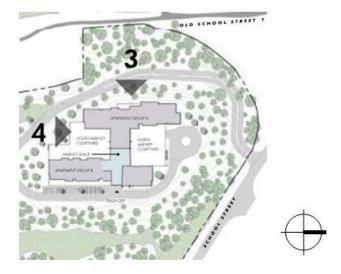
BUILDING ELEVATIONS | EMBARC A14



3 - WEST ELEVATION

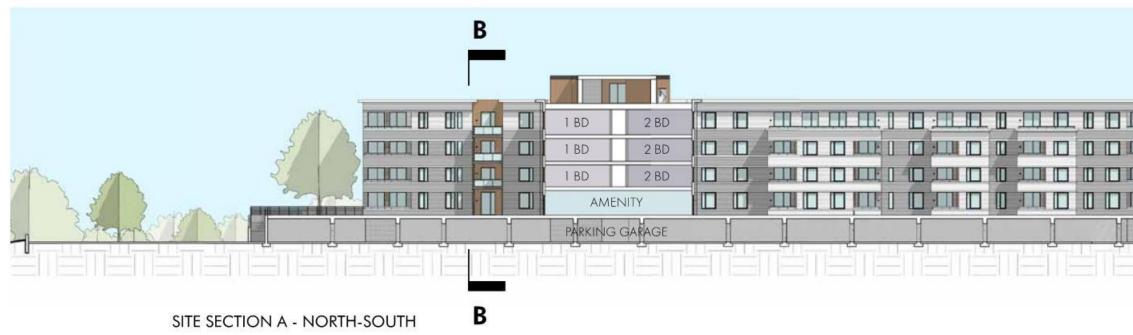


4 - SOUTH ELEVATION



BUILDING ELEVATIONS | EMBARC





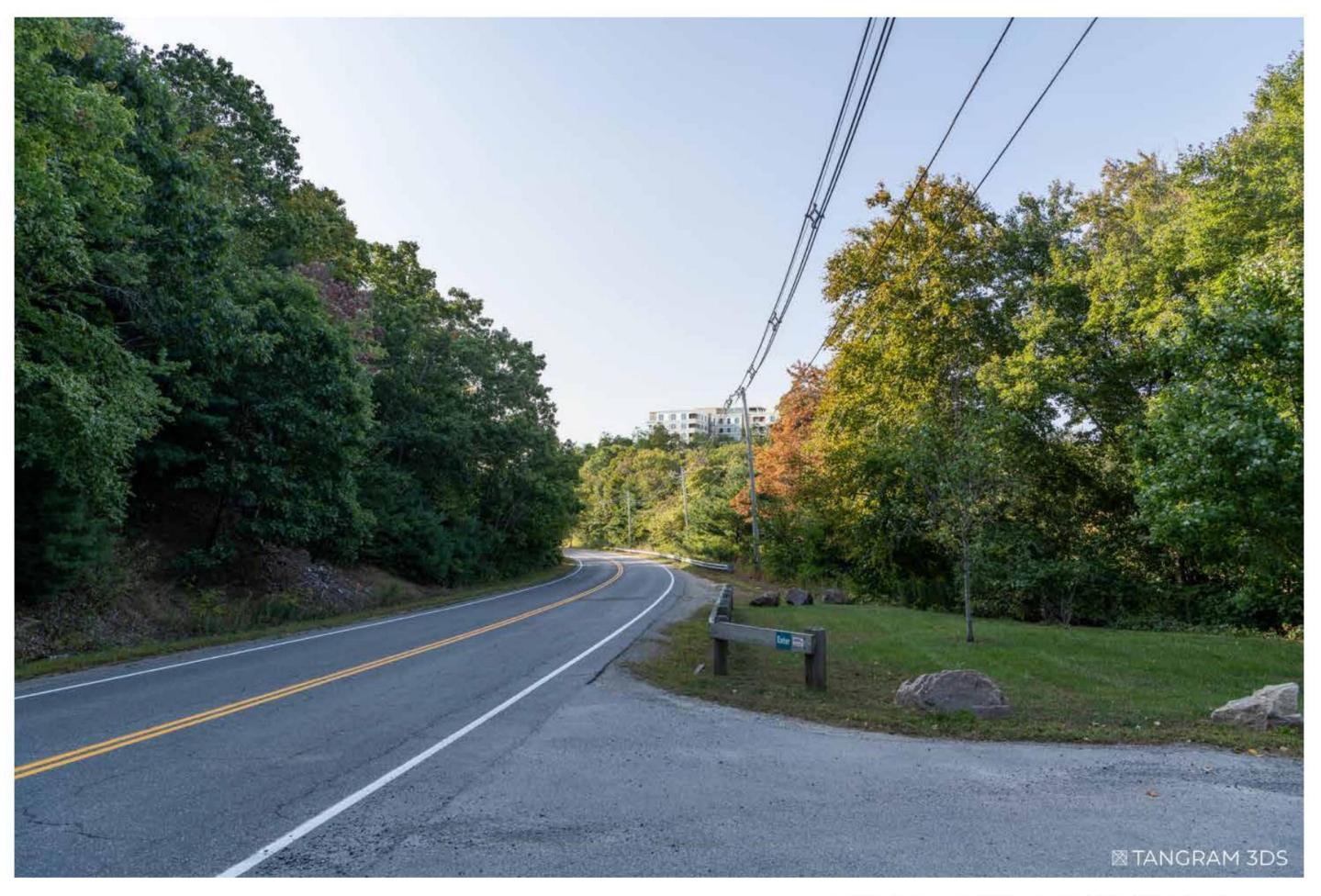


SITE AND BUILDING SECTIONS | EMBARC



0	ROOF - AMENITY
\cup	56' - 8"
	ROOF - BUILDING
0	45' - 8"
	LEVEL 4
	33' - 8"
	LEVEL 3
U	22' - 8"
	LEVEL 2
	11' - 8"
	LEVEL 1
	0' - 0"
ST ON	PARKING LEVEL
	-11'-0"

	$ \begin{array}{c} \hline \hline \\ ROOF - AMENITY \\ 56' - 8'' \\ \hline \\ ROOF - BUILDING \\ 45' - 8'' \\ \hline \\ 1EVEL 4 \\ 33' - 8'' \\ \hline \\ 1EVEL 3 \\ 22' - 8'' \\ \hline \\ 12' - 8'' \\ \hline \\ 11' - 8'' \\ \hline \\ 11' - 8'' \\ \hline \\ PARKING LEVEL \\ -11' - 0'' \\ \hline \end{array} $
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VIEW FROM SCHOOL ST | EMBARC





VIEW FROM WALKING TRAIL | EMBARC





SITE ENTRY | EMBARC





BUILDING ENTRY | EMBARC





AMENITY DECK | EMBARC





PROPOSED LANDSCAPE

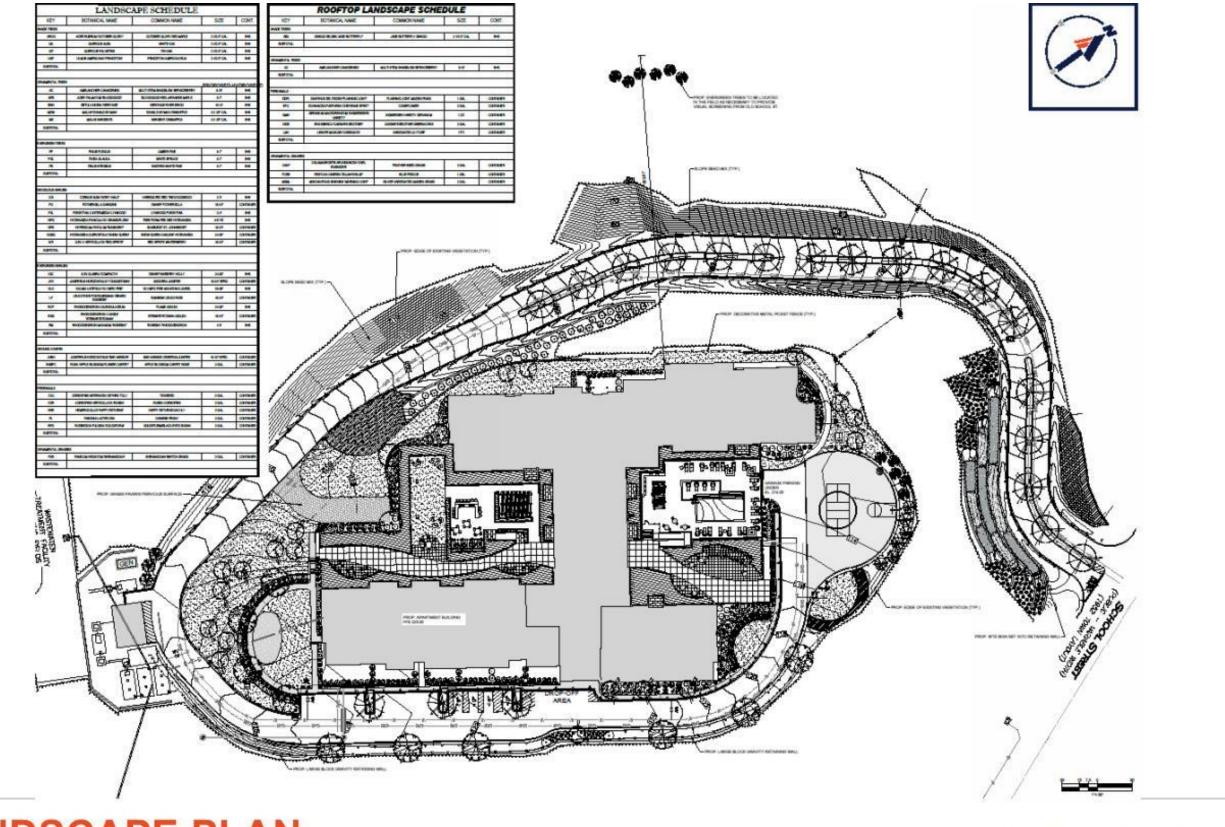




LANDSCAPE **OVERVIEW**

- **Overall landscape plan**
- Site landscape schedule
- **Proposed site plants** •
- **Rooftop landscape schedule**
- **Proposed rooftop plants** •





LANDSCAPE PLAN





SITE LANDSCAPE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
HADE TREES				
AROG	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	8-8
QA	OUERCUS ALBA	WHITE OAK	2 1/2-3" CAL	8+8
OP	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3" CAL	8+8
UAP	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2 1/2-3" CAL	8+8
SUBTOTAL:				
ORNAMENTAL TREE	5		PROPOSED	IVDDOSE
AC	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	8-8
APB	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD RED JAPANESE MAPLE	6-7	8-8
BNH	BETULA NIGRA HERITAGE	HERITAGE RIVER BIRCH	10-12	8+8
MDW	MALUS 'DONALD WYMAN'	DONALD WYMAN CRABAPPLE	2-2 1/2" CAL.	B-B
MS	MALUS SARGENTII	SARGENT CRABAPPLE	2-2 1/2" CAL.	8+8
SUBTOTAL:				
EVERGREEN TREES	and a second sec			
PF	PINUS FLEXILIS	LIMBER PINE	6-7	8+8
PGL	PICEA GLAUCA	WHITE SPRUCE	6-7	8+8
PS	PINUS STROBUS	EASTERN WHITE PINE	6 -7'	8+8
SUBTOTAL:				
ECIDUOUS SHRUE	IS			
CAI	CORNUS ALBA TVORY HALO	VARIEGATED RED TWIG DOGWOOD	2-3'	B-B
FG	FOTHERGILLA GARGENII	DWARF FOTHERGILLA	15-24"	CONTAINER
FXL	FORSYTHIA X INTERMEDIA 'LYNWOOD'	LYNWOOD FORSYTHIA	34'	8+8
HPG	HYDRANGEA PANICULATA 'GRANDIFLORA'	TREE FORM PEE GEE HYDRANGEA	4-5' HT.	8+8
HPS	HYPERICUM PATULUM SUNBURST	SUNBURST ST. JOHNSWORT	18-24*	CONTAINER
HOSO	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30*	CONTAINER
IXR	ILEX X VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
SUBTOTAL:				

LANDSCAPE SCHEDULE

IGC	ILEX GLABRA 'COMPACTA'	DWARF INK
JHY	JUNIPERUS HORIZONTALIS YOUNGSTOWN	ANDOR
KLO	KALMIA LATIFOLIA 'OLYMPIC FIRE'	OLYMPIC FIRE
UF	LEUCOTHOE FONTANESIANA 'GIRARD RAINBOW	RAINBOW
RCF	RHODODENDRON CALENDULACEUM	FLAM
RGS	RHODODENDRON X GABLE STEWARTSTONIAN	STEWARTS
RM	RHODODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY R
UBTOTAL:		

GROUND COVERS		
ЛВН	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR
RABEC	ROSA 'APPLE BLOSSOM FLOWER CARPET'	APPLE BLOSS
SUBTOTAL:		

ERENNIALS		
COJ	COREOPSIS ASTERACEA 'JETHRO TULL'	TIC
CVR	COREOPSIS VERTICILLATA ROSEA'	ROSEA
HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RET
PL	PAEONIA LACTIFLORA	CHINE
RFG	RUDBECKIA FULGIDA GOLDSTURM	GOLDSTURME
SUBTOTAL:		

PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOA
SUBTOTAL:		

		(y)
KBERRY HOLLY	24-30"	8+8
RRA JUNIPER	18-24" SPRD	CONTAINER
MOUNTAIN LAUREL	30-36"	8+8
W LEUCOTHOE	18-24"	CONTAINER
AE AZALEA	24-30"	8+8
STONIAN AZALEA	18-24*	CONTAINER
RHODODENDRON	4-5	8+8
		<i></i>
CREEPING JUNIPER	15-18" SPRD.	CONTAINER
SOM CARPET ROSE	2 GAL.	CONTAINER
CKSEED	2 GAL.	CONTAINER
COREOPSIS	2 GAL.	CONTAINER
TURNS DAYLILY	2 GAL	CONTAINER
ESE PEONY	2 GAL	CONTAINER
BLACK-EYED SUSAN	2 GAL.	CONTAINER
		540
AH SWITCH GRASS	2 GAL	CONTAINER











October Glory Maple

White Oak

Pin Oak

Princeton Elm



Bloodgood Maple



River Birch







PROPOSED SITE PLANTING

Shade Trees & Ornamental Trees



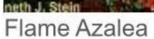
Shadblow Serviceberry



Limber Pine

Rainbow Leucothoe

Rosebay Rhododendron









White Spruce





Stewartstonian Azalea

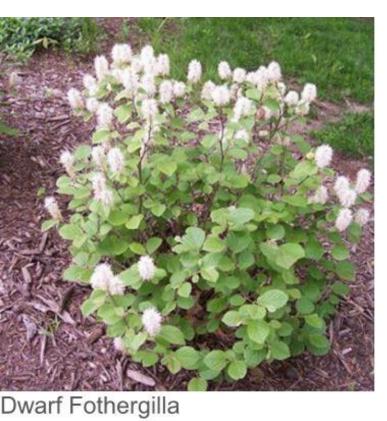






Andorra Juniper







Pee Gee Hydrangea Tree Form



Sunburst St. Johnswort



Snow Queen Hydrangea







Ivory Halo Dogwood

PROPOSED SITE PLANTING Deciduous Shrubs



Lynnwood Forsythia



ROOFTOP LANDSCAPE SCHEDULE

	ROOFTOP LA	NDSCAPE SCHEL	DULE	
KEY	BOTANICAL NAME	COMMON NAME	SIZE	C
SHADE TREES				
GBJ	GINKGO BILOBA 'JADE BUTTERFLY'	JADE BUTTERFLY GINKGO	2 1/2-3* CAL	
SUBTOTAL:				
ORNAMENTAL TREES				
AC	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	
SUBTOTAL:	20 · · · · · · · · · · · · · · · · · · ·			
PERENNIALS				
DDFL	DIANTHUS DELTOIDES 'FLASHING LIGHT'	FLASHING LIGHT MAIDEN PINKS	1 GAL.	CO
EPC	ECHINACEA PURPUREA 'CHEYENNE SPIRIT'	CONEFLOWER	2 GAL.	CO
GMIV	GERANIUM MACRORRHIZUM 'INGWERSEN'S VARIETY'	INGWERSEN VARIETY GERANIUM	1 QT.	cor
ISCB	IRIS SIBIRICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER SIBERIAN IRIS	2 GAL.	CO
LMV	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 PT.	CO
SUBTOTAL:				
ORNAMENTAL GRASS	FS			
CAKF	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL	cor
FCEB	FESTUCA CINEREA 'ELIJAH'S BLUE'	BLUE FESCUE	1 GAL.	CO
MSML	MISCHANTHUS SINENSIS 'MORNING LIGHT'	SILVER VARIEGATED MAIDEN GRASS	2 GAL.	CO
SUBTOTAL:				







Jade Butterfly Ginkgo



Amelanchier



Flashing Lights Dianthus



Ingwersen Geranium



Cheyenne Spirit





Variegated Lilyturf

Feathered Reed



Feathered Reed Grass



Morning Light Grass

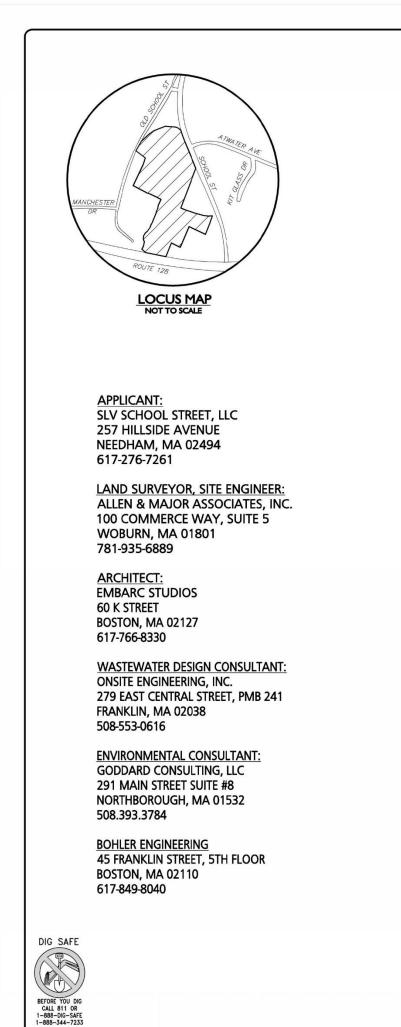
Grass

PROPOSED ROOFTOP PLANTING Deciduous Shrubs



Caesar's Brother Iris





SITE DEVELOPMENT PLANS FOR THE SANCTUARY AT MANCHESTER BY THE SEA **0 SCHOOL STREET** MANCHESTER-BY-THE-SEA, MA





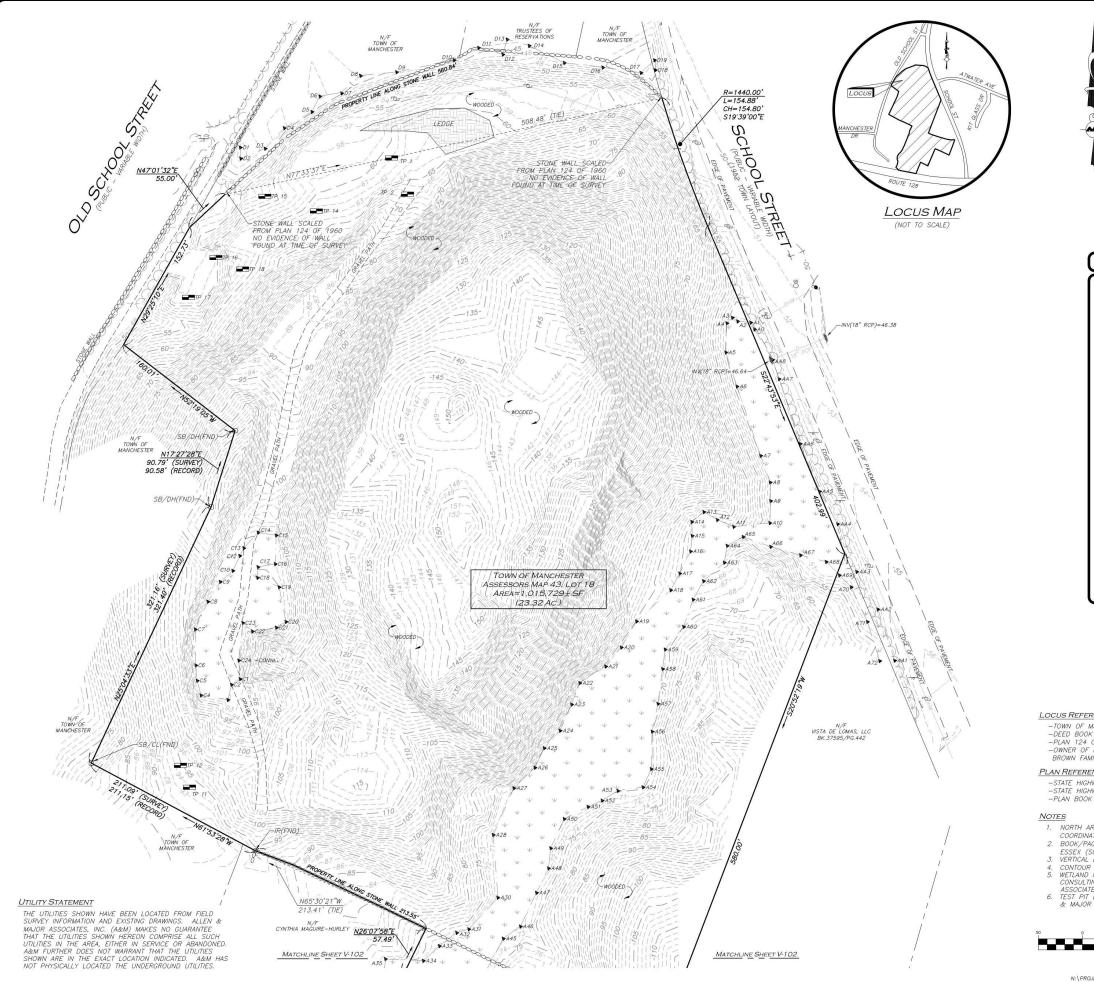
DRAWI **CIVIL D** LAYOUT 8 GRADING SNOW STO

LIST OF DRAWINGS			
ING TITLE	SHEET NO.	ISSUED	REVISED
DRAWINGS		5 5	
& MATERIALS PLAN	C-102A & C-102B	09-24-2020	-
& DRAINAGE PLAN	C-103	09-24-2020	-
ORAGE PLAN	C-108	09-24-2020	-

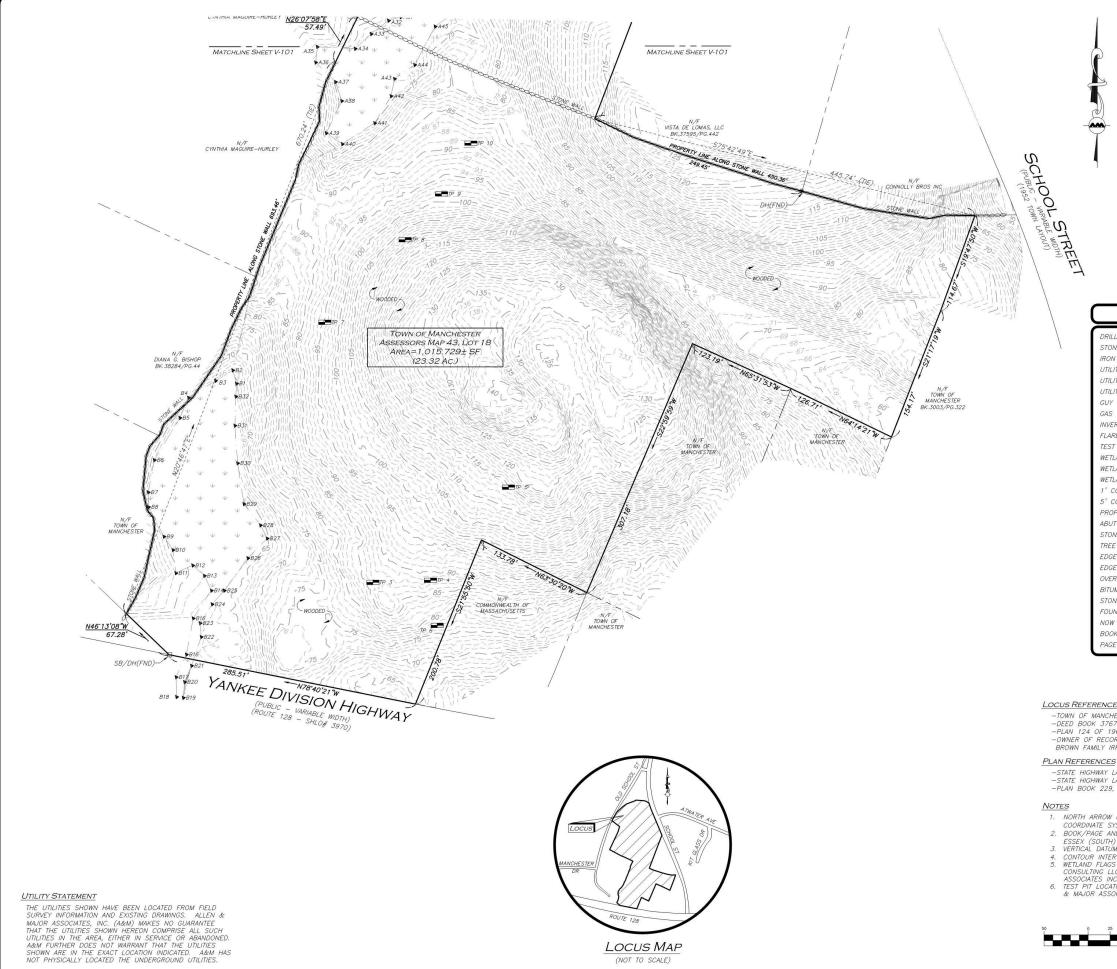


PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC

ISSUED FOR REVIEW : SEPTEMBER 24, 2020 N:\PROJECTS\2725-01\CIVIL\DRAWINGS\CURRENT\C-2725-01_COVER.D



FOR REGISTRY USE ONLY	WE HEREBY CERTIFY THAT: THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN NOVEMBER 21, 2019 AND JANUARY 3, 2020. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 11, 1976 AND REVISED JANUARY 12, 1988. ACCORDING TO BEEDS AND PLANS OF RECORD. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES OF THE STREETS OR WARTS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREET AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS RADI IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE RECORDING OF DUBLES ARE ONNY ACCORDING TO CURRENT TOWN OF MANCHESTER ASSESSOR'S INFORMATION AND BELIEF. ALLEN & MAJOR ASSOCIATES, INC.
LEGEND DRILL HOLE (DH) ● STONE BOUND (SB) □ IRON ROD (IR) ● UTILITY POLE ℃ UTILITY POLE W/RISER ● UTILITY POLE W/RISER ● UTILITY POLE W/RISER ● UTILITY POLE W/LIGHT ℃	PROFESSIONAL LANDISURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.
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BOOK BK. PAGE PG.	NEEDHAM, MA 02494 PROJECT: ASSESSORS MAP 43, LOT 18 SCHOOL STREET MANCHESTER BY THE SEA, MA PROJECT NO. 272501 DATE: 09/21/202
ERENCES MANCHESTER ASSESSORS MAP 43, LOT 18 DK 37672, PAGE 565 OF 1960 F RECORD: ANDREW BROWN, TRUSTEE OF THE MILY IRREVOCABLE TRUST OF 2012	SCALE: 1"-50' DWG. NAME: S-272501-E DRAFTED BY: KAC CHECKED BY: N PREPARED BY: ALLEN & MAJOR
IENCES JHWAY LAYOUT 3970 JHWAY LAYOUT 3992 JK 229, PLAN 6 ARROW IS BASED ON MASSACHUSETTS GRID VATE SYSTEM (MAINLAND ZONE) (NAD 83). TAGE AND PLAN REFERENCES ARE TAKEN FROM (SOUTH) REGISTRY OF DEEDS IN SALEM, MA. L DATUM IS NAVD 88.	ASSOCIATES, INC. civil engineering • land surveying environmental consulting • landscape architectur w w . a 1 l e n m a j o r. e o m 100 COMMERCE WAY, SUITE 5 WOBURN MA 01801-8501 TEL: (781) 935-8899 FAX: (781) 935-8899 WOBURN. MA • LAKEVILLE. MA • MANCHESTER, N
R INTERVAL IS ONE FOOT (1'). D FLAGS SHOWN HEREON DELINEATED BY GODDARD TING LLC AND FIELD LOCATED BY ALLEN & MAJOR ATES INC. T LOCATIONS SHOWN HEREON PROVIDED TO ALLEN IR ASSOCIATES, INC BY ONSITE ENGINEERING, INC. GRAPHIC SCALE 25 50 100 200	THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/JCLIENTS REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE FOTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR O'THERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORSHIP ON THE MAGNETIC MEDIA, PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.S WORK REDOUCT.
(IN FEET) 1 inch = 50 fL ROJECTS\2725-01-EC.DWG FD∯ 1736 PG. 109	DRAWING TITLE: SHEET No. EXISTING CONDITIONS V-101 Copyright@22097.Http://s.teller.fore.worksites.fnc.

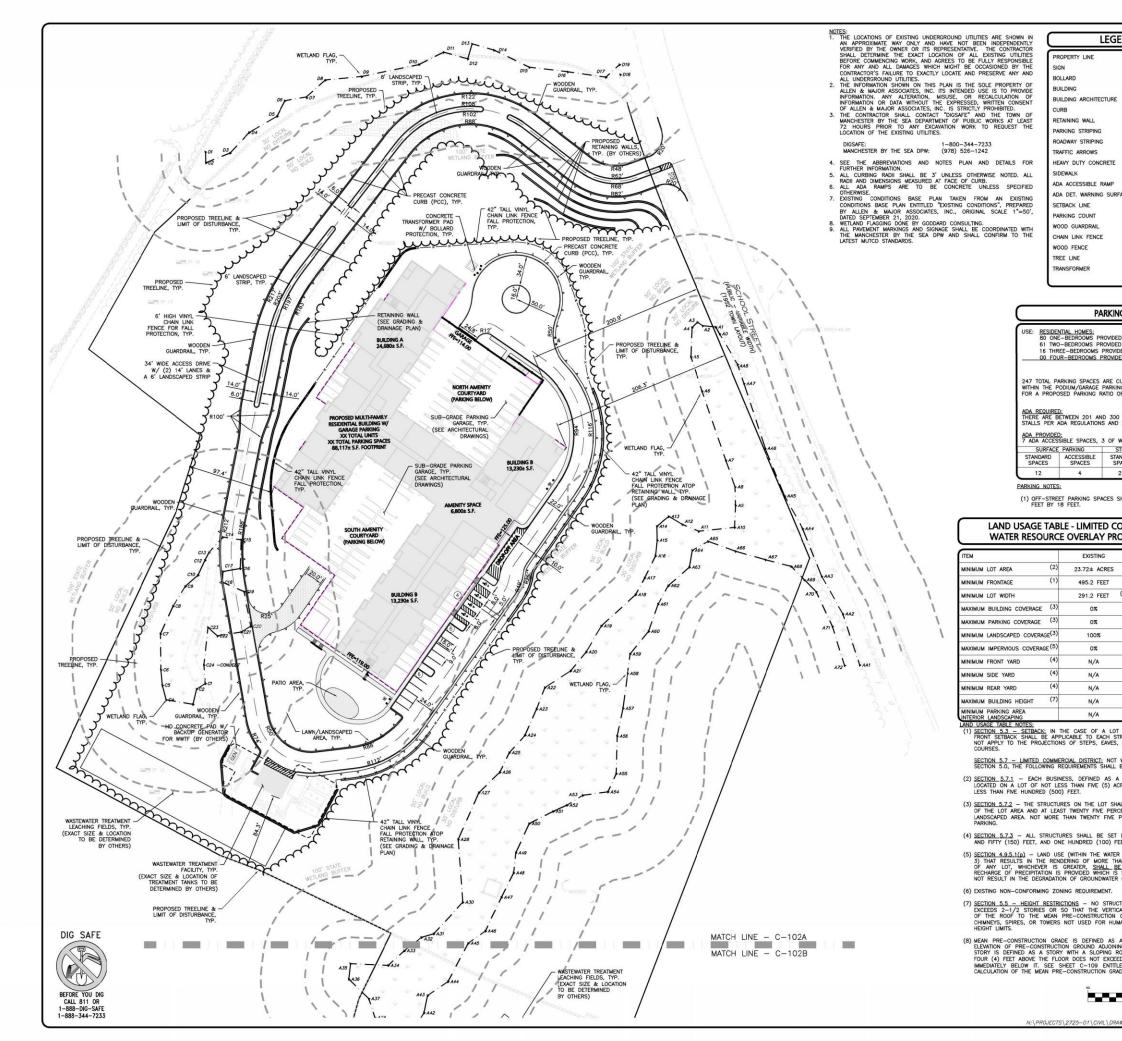


	WE HEREBY CERTIFY THAT:
FOR REGISTRY USE ONLY	THIS PLAN IS THE RESULT OF THE GROUND SURVEY PERFORME BETWEEN NOVEMBER 21, 2019 / 3, 2020. THIS PLAN WAS PREPARED IN WITH THE RULES AND REGULATIC REGISTERS OF DEEDS DATED JM AND REVISED JANUARY 12, 198, ACCORDING TO DEEDS AND PL RECORD, THE PROPERTY LINES THIS PLAN ARE THE LINES OF OR WAYS SHOWN ARE THOSE OI PRIVATE STREETS AND WAYS ALL ESTABLISHED, AND THAT NO NEW THE DIVISION OF EXISTING OWNE NEW WAYS ARE SHOWN. THE ABOVE CERTIFICATION IS IN MEET REGISTRY OF DEEDS REQU THE REGORDING OF PLANS AND CERTIFICATION TO THE TITLE OR OF THE PROPERTY SHOWN. OWNERSTRY OF DEEDS RED THE ABOVE OF CERTIFICATION TO THE THE ABOVE OF CERTIFICATION TO THE THE ABOVE OF CERTIFICATION TO THE THE ABOVE SCHEMENT TOWN ADJOINING PROPERTIES ARE SHOWN. MANCHESTER ASSESSOR'S INFOR THE ABOVE IS CERTIFIED TO TH THE ABOVE IS CERTIFIED TO TH AND BELLEF.
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ORTH ARROW IS BASED ON MASSACHUSETTS GRID DORDINATE SYSTEM (MANURADD ZONE) (NAD 83). DOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM SSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA. RTICAL DATUM IS NAVD 88. DNTOUR INTERVAL IS ONE POEDT (1'). TLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD	100 COMMERCE WAY, SU WOBURN MA 01801.8; TEL: (781) 935-5889 FAX: (781) 935-5899 WOBURN, MA + LAKEVILLE, MA + THIS DRAWING HAS BEEN PREPARED IN ELECTRC
DNSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR SSOCIATES INC. ST PIT LOCATIONS SHOWN HEREON PROVIDED TO ALLEN MAJOR ASSOCIATES, INC BY ONSITE ENGINEERING, INC.	CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTA PROVIDED COPIES OF DRAWINGS AND SPECIFICA MEDIA FOR HIS/HER INFORMATION AND USE FO APPLICATION TO THIS PROJECT. DUE TO THE PO' MAGNETIC INFORMATION MAY BE MODIFIED UP OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC.
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(1N FEET) 1 inch = 50 ft.	EXISTING CONDITIONS
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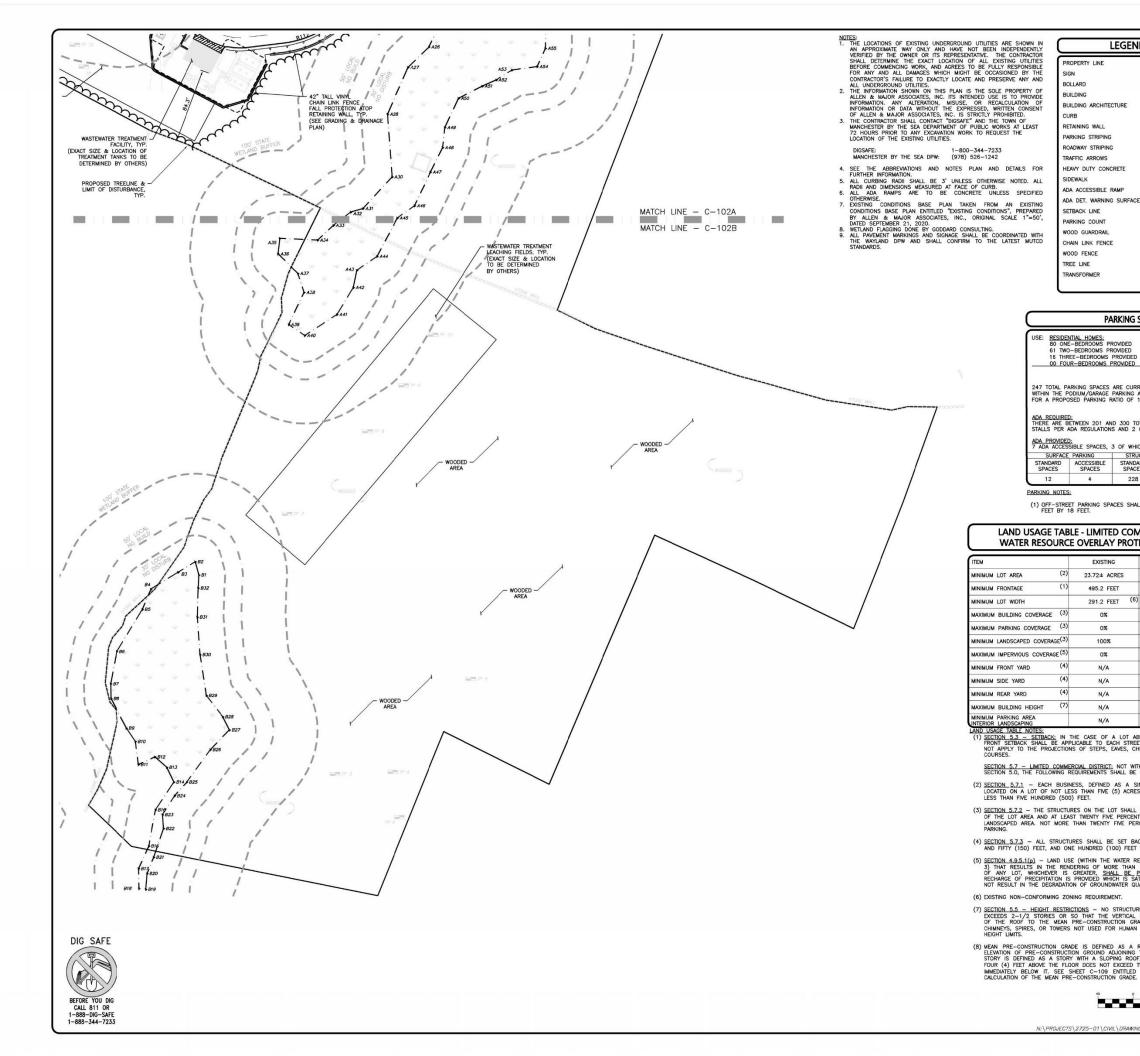
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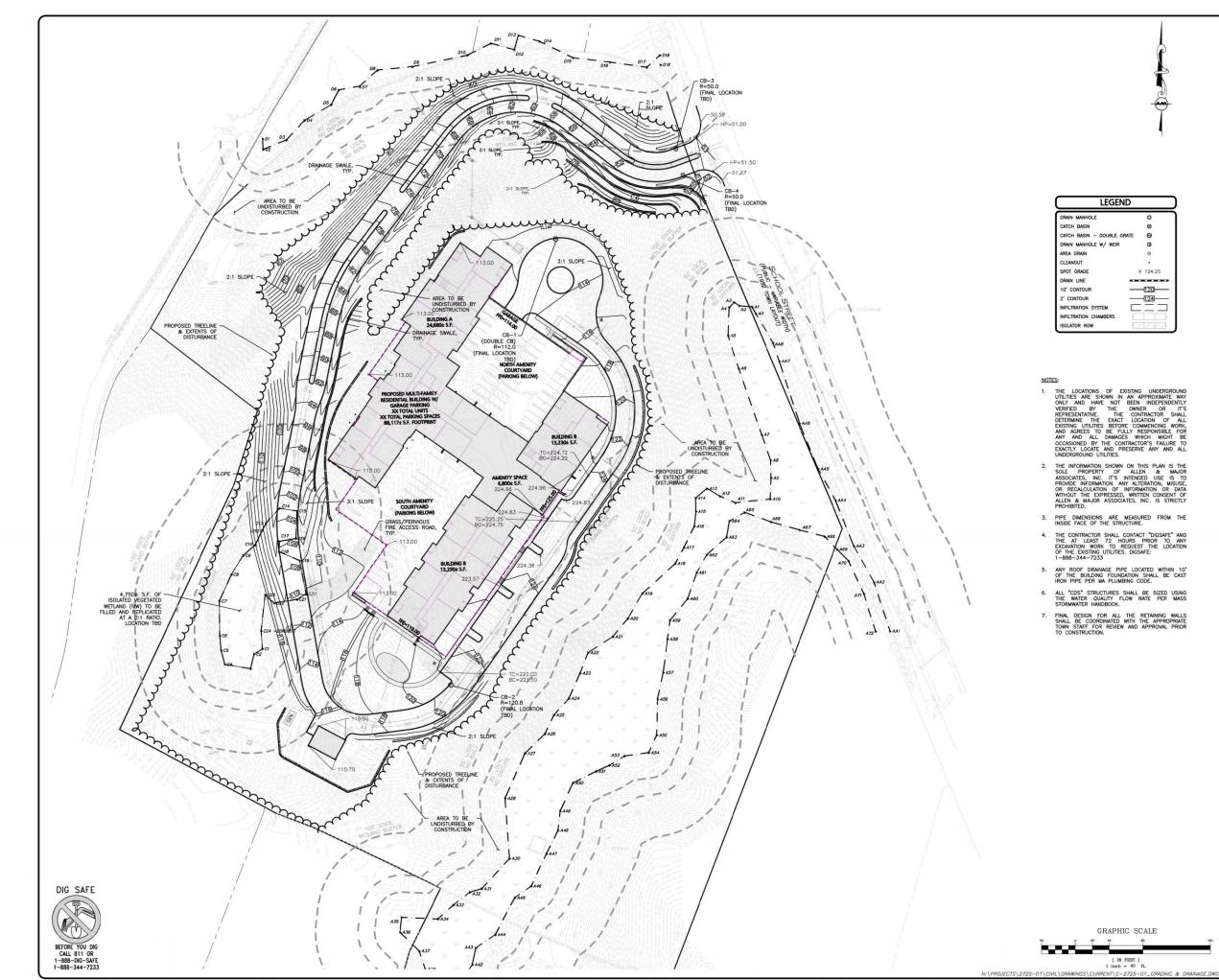
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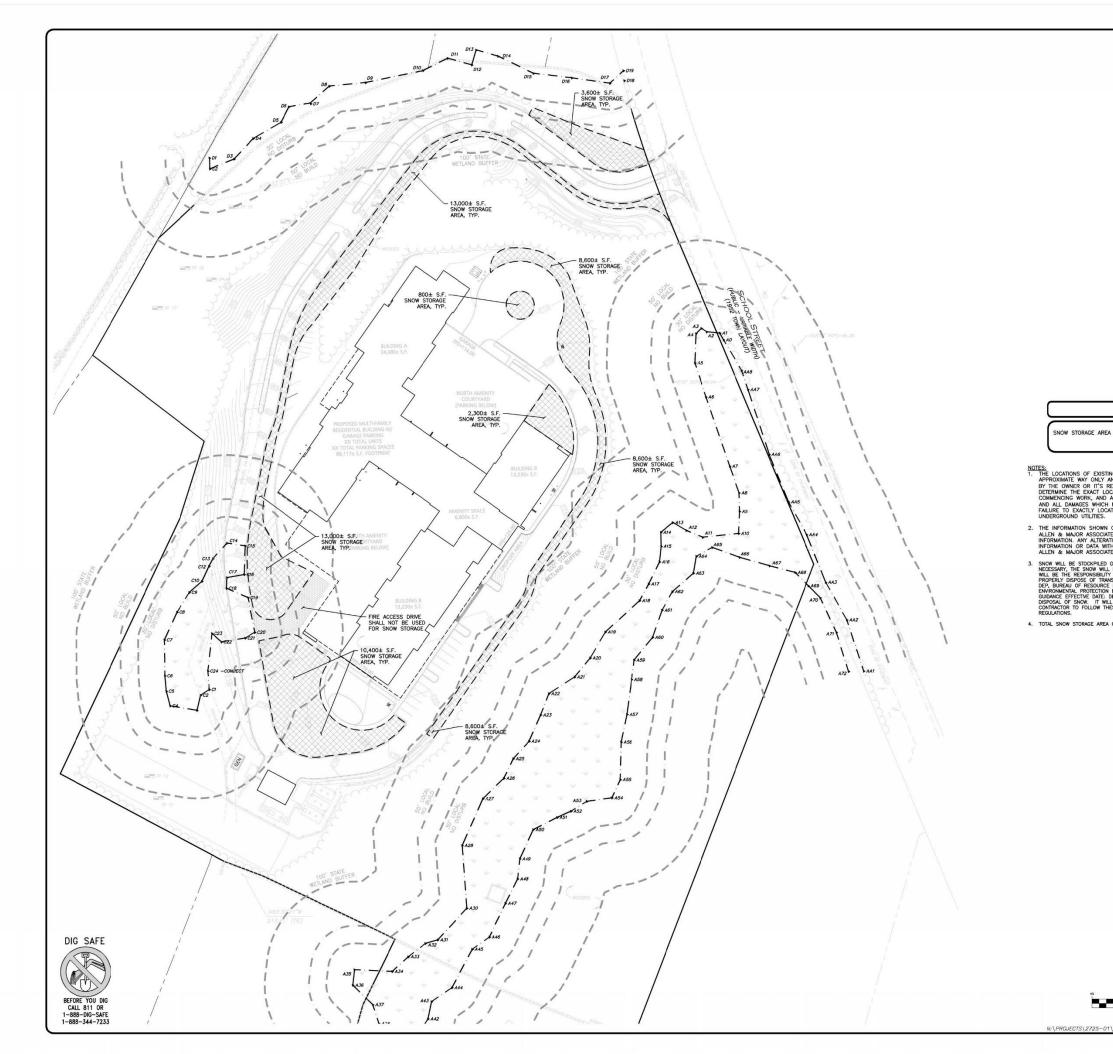


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D (3 BEDRO	DOMS = 5 SP	ACES) = 80 SPACES						
TOTAL SP	DOMS = 6 SP	ACES) = 00 SPACES ED = 423 SPACES						
RRENTLY PROP	POSED, 231 C	OF WHICH ARE LOCATED RFACE PARKING STALLS, LLING UNIT.						
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ISSUED FOR REVIEW SEPTEMBER
SEPTEMBER 24, 2020
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.
GEPTEMBER 24, 2020
PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.
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PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC. REV DATE DESCRIPTION APPLICANT/OWNER: SLV SCHOOL STREET, LLC 257 HILISIDE AVENUE NEEDHAM, MA 02494 PROJECT: THE SANCTUARY AT MANCHESTER BY THE SEA 0 SCHOOL STREET MANCHESTER BY THE SEA, MA PROJECT: THE SANCTUARY AT MANCHESTER BY THE SEA, MA PROJECT: THE SANCTUARY AT MANCHESTER BY THE SEA, MA PROJECT: THE SANCTUARY AT MANCHESTER BY THE SEA, MA PROJECT: COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPARISON COMPAR
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ISSUED FOR REVIEW SEPTEMBER 24, 2020	
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Proposed Residential Community School Street Manchester-by-the Sea, Massachusetts

Transportation Impact Assessment Summary

Prepared by:



October 29, 2020

Transportation Impact Assessment Summary

- Prepared in accordance with MassDOT's Transportation Impact Assessment (TIA) Guidelines;
- Includes a detailed assessment of traffic volumes, pedestrian and bicycle accommodations and public transportation services;
- Traffic volumes were adjusted following MassDOT's guidelines for data collected during the COVID-19 pandemic and used pre-COVID data to establish adjustment factors;
- The Project will not have a significant impact (increase) on motorist delays or vehicle queuing, acknowledging that one or more movements from the Route 128 off-ramps to School Street are predicted to operate at or over capacity independent of the Project;
- No apparent safety deficiencies were identified based on a review of motor vehicle crash data provided by MassDOT; and
- Lines of sight at the access point to the Project site were found to exceed the required minimum distances for the intersection to function in a safe and efficient manner.



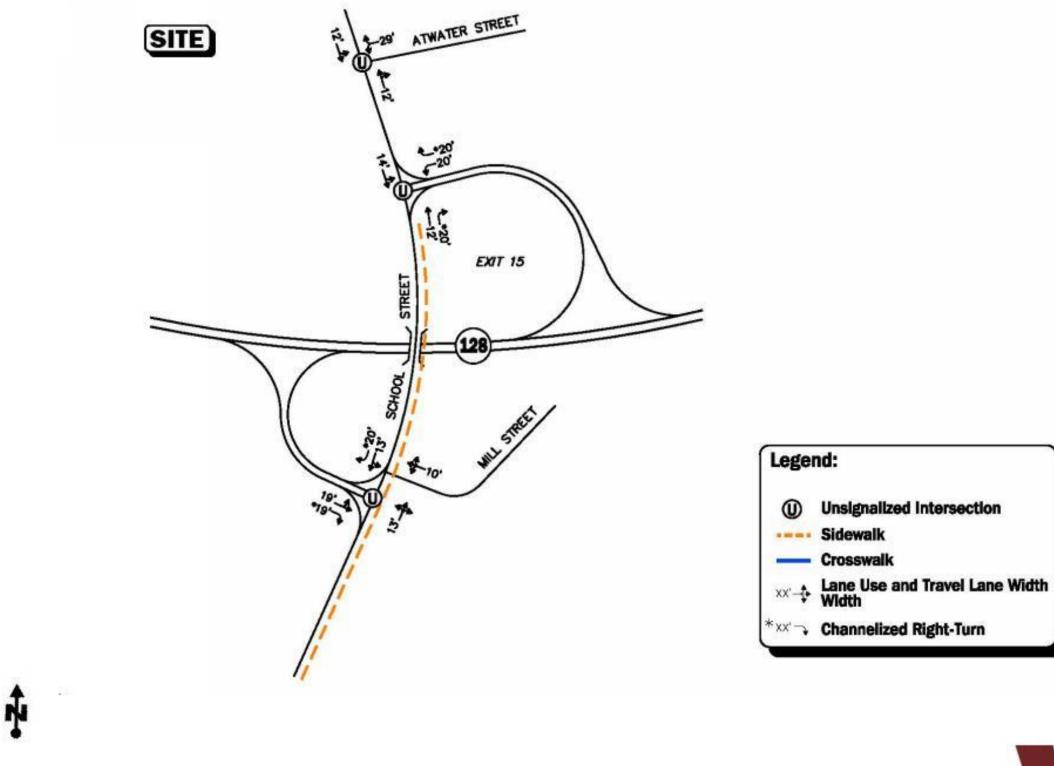
Site Location Map

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Existing Conditions





Trip Generation Summary

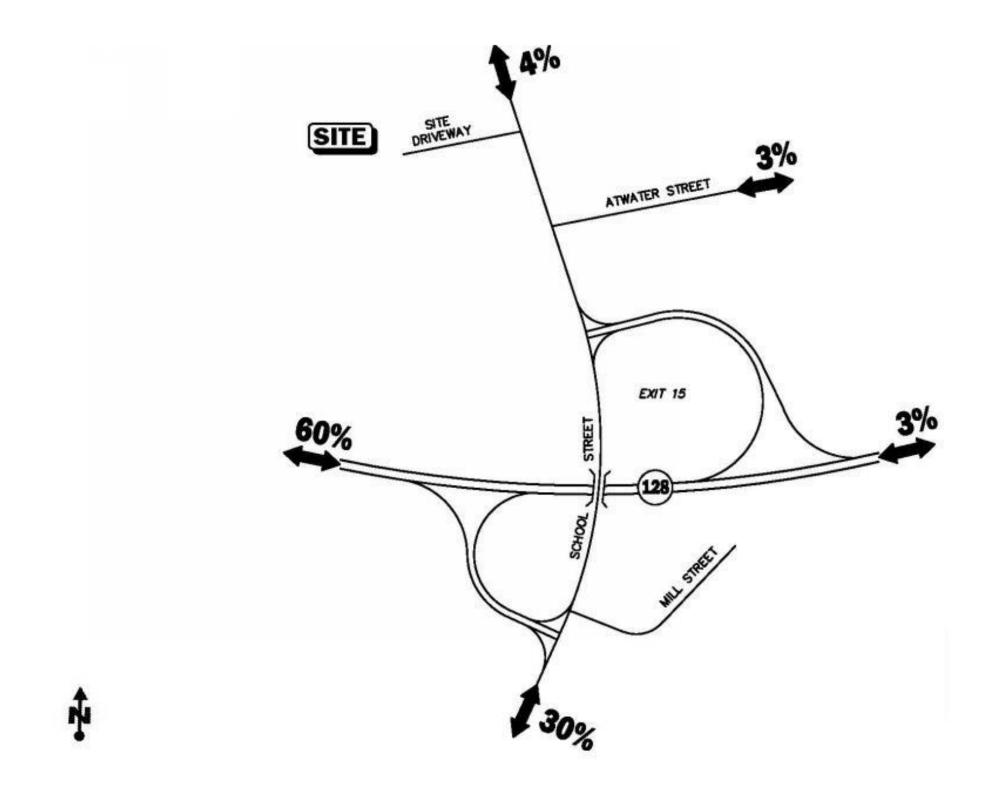
		Vehicle Trips	
Time Period	Entering	Exiting	Total
Average Weekday:	427	427	854
Weekday Morning Peak-Hour:	14	39	53
Weekday Evening Peak-Hour:	41	27	68

^aBased on ITE LUC 221, Multifamily Housing (Mid-Rise), 157 units.





Trip Distribution





Recommendations

Site Access

- The boulevard section of the driveway should provide two (2) 14-foot wide (minimum) travel lanes separated by a 6-foot wide (minimum) raised median with openings or traversable areas every 200-feet. The non-boulevard section of the driveway should be a minimum of 22-feet in width and designed to accommodate the turning and maneuvering requirements of emergency vehicles.
- Vehicles exiting the site will be under STOP-sign control
- All signs and pavement markings should conform to the applicable standards of the Manual on Uniform Traffic Control Devices (MUTCD).
- A sidewalk will be provided within the project and ADA compliant wheelchair ramps will be provided at all pedestrian crossings within the project.
- Signs and landscaping will be designed and maintained so as not to restrict lines of sight.
- Snow windrows will be promptly removed where such accumulations would impede sight lines.



Recommendations

Off-Site

School Street/Route 128 Ramps

Conduct an improvement study for the Route 128 north and southbound ramp intersections with School Street, including a detailed Traffic Signal Warrants Analysis and preparing conceptual improvement plans depicting the recommended improvements.

Transportation Demand Management

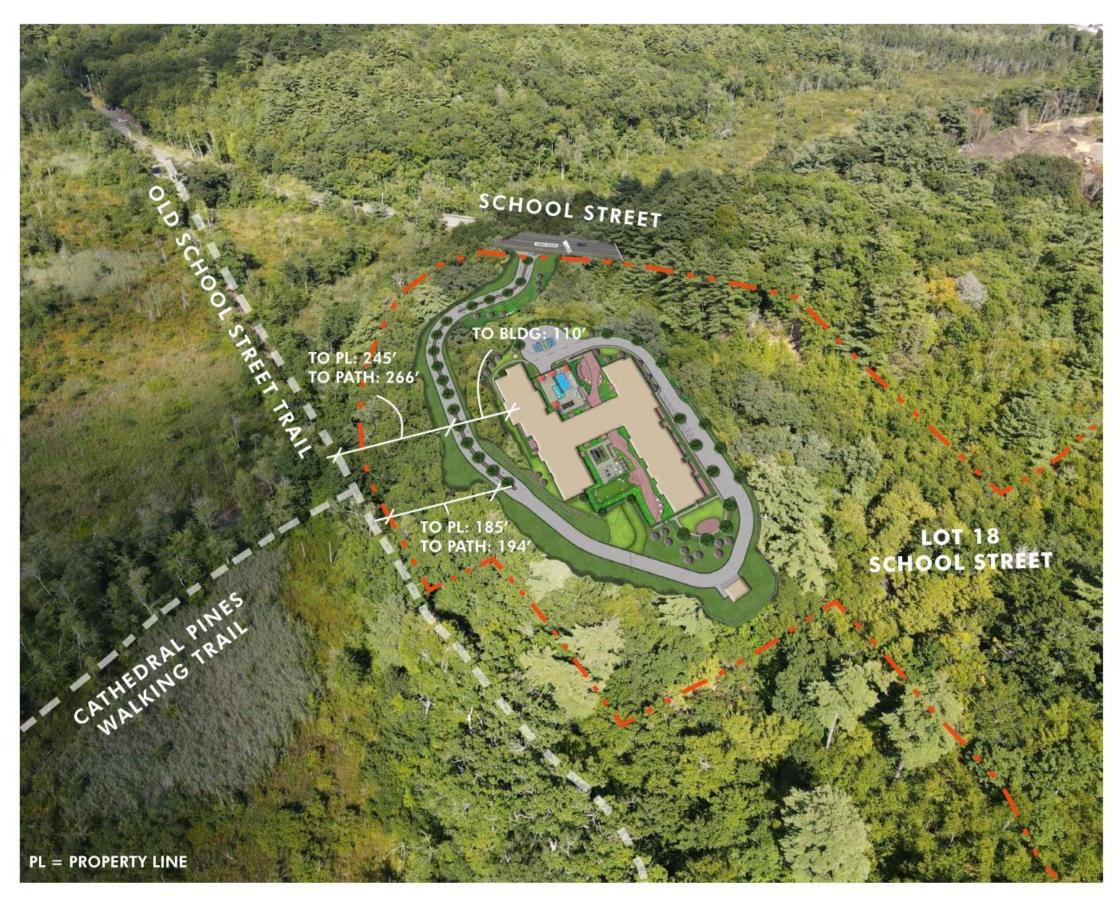
- Information regarding public transportation services, maps, schedules and fare information will be posted in a central location and/or otherwise made available to residents;
- A "welcome packet" will be provided to new residents detailing bicycle and walking alternatives and commuter options;
- Work-at-home workspaces will be provided to support telecommuting by residents of the Project;
- Bicycle parking will be provided consisting of both an exterior bicycle rack and weather protected bicycle parking within the parking garage.





SATELLITE OVERLAY | EMBARC





AERIAL OVERLAY IMAGE | EMBARC



