

THE SANCTUARY AT MANCHESTER BY-THE-SEA



Presentation to the Manchester-By-The-Sea Board of Selectmen

October 29th 2020







THE SANCTUARY

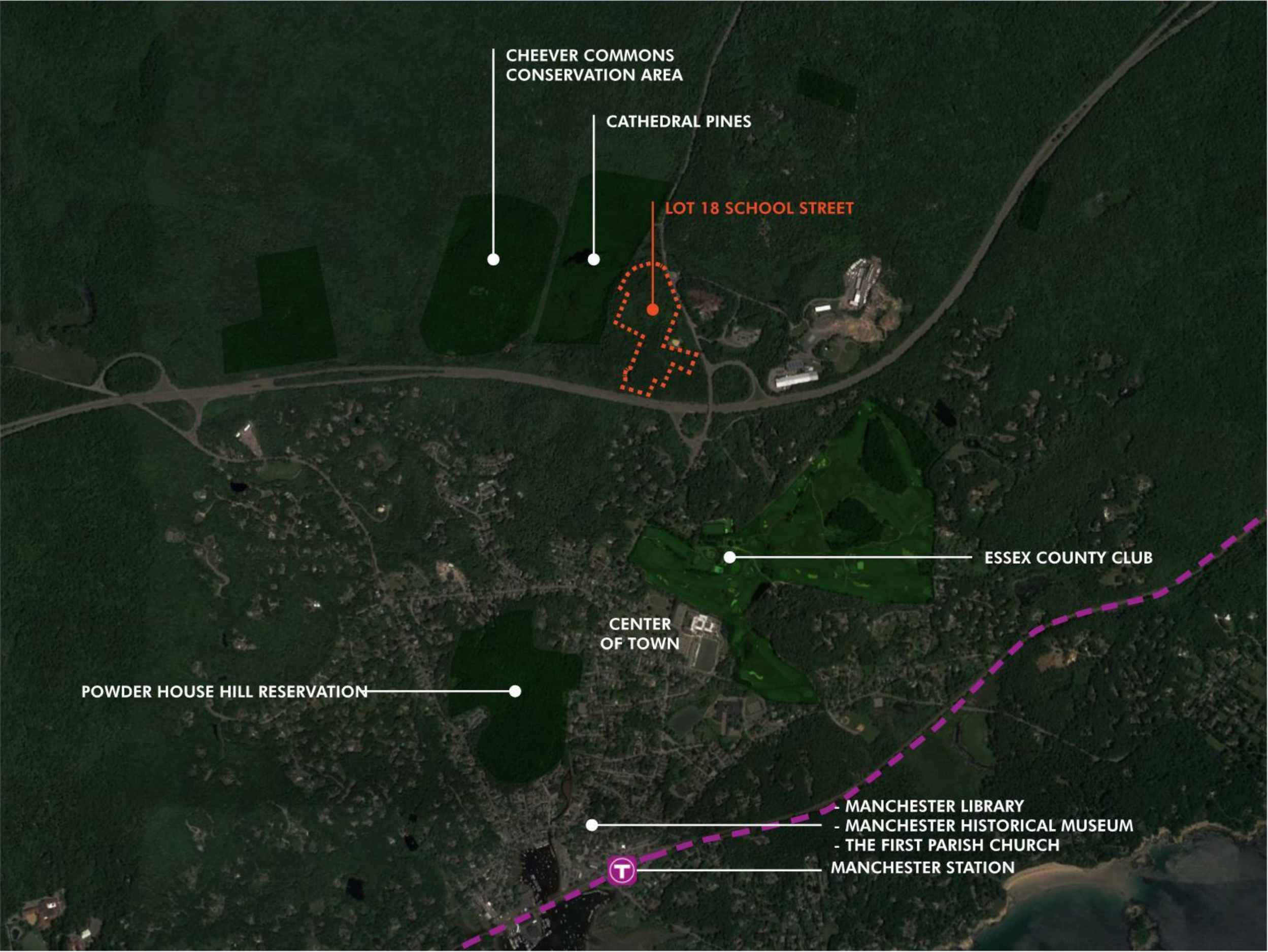
AT MANCHESTER-BY-THE-SEA, MA

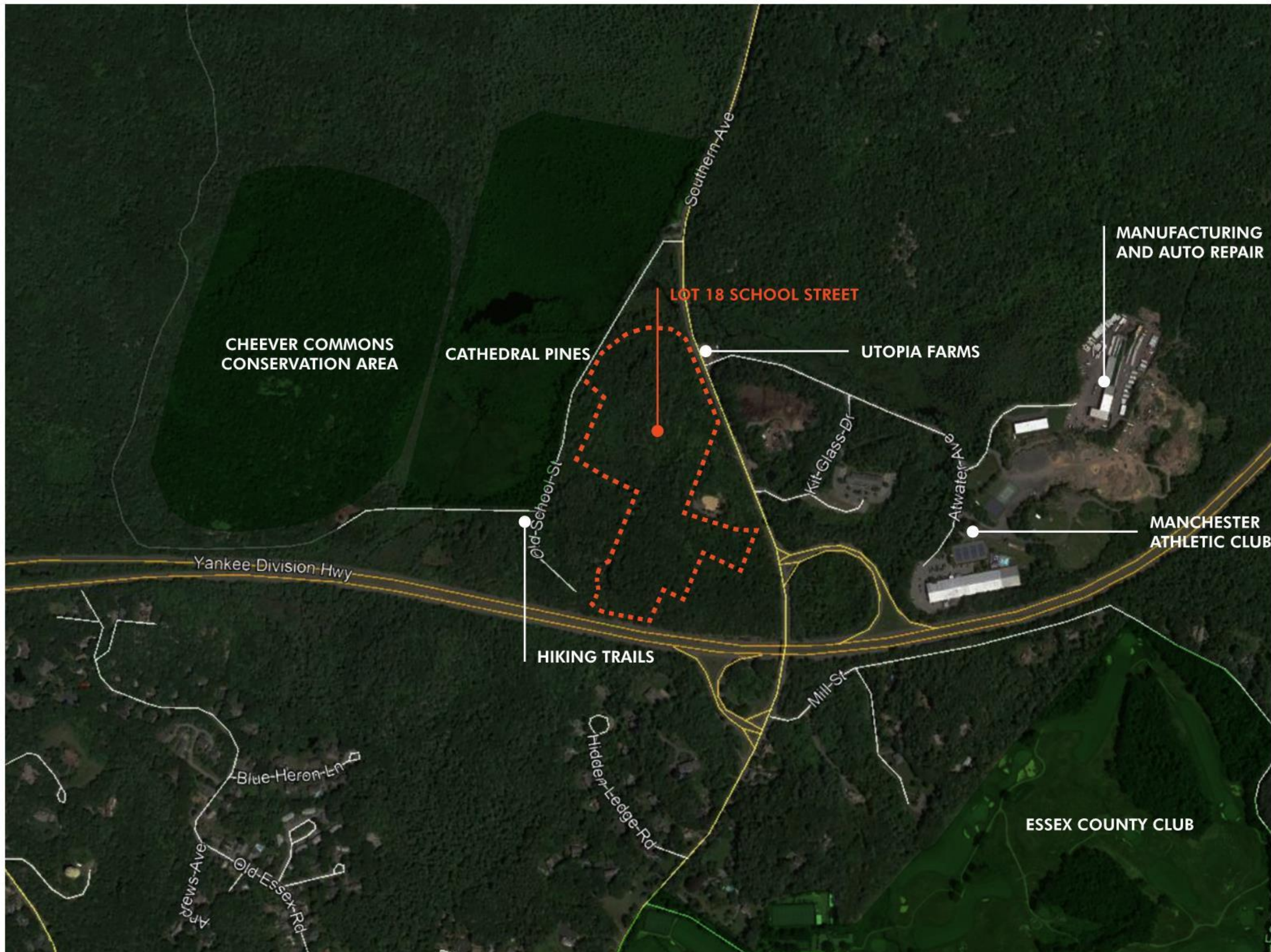
SLV SCHOOL STREET, LLC

OCTOBER 23, 2020



EMBARC





LOT 18 SCHOOL ST
 - LOT SF - 1,011,184 SF
 - ZONING DISTRICT - LCD
 - LAND USE CODE - 390





MANCHESTER LIBRARY



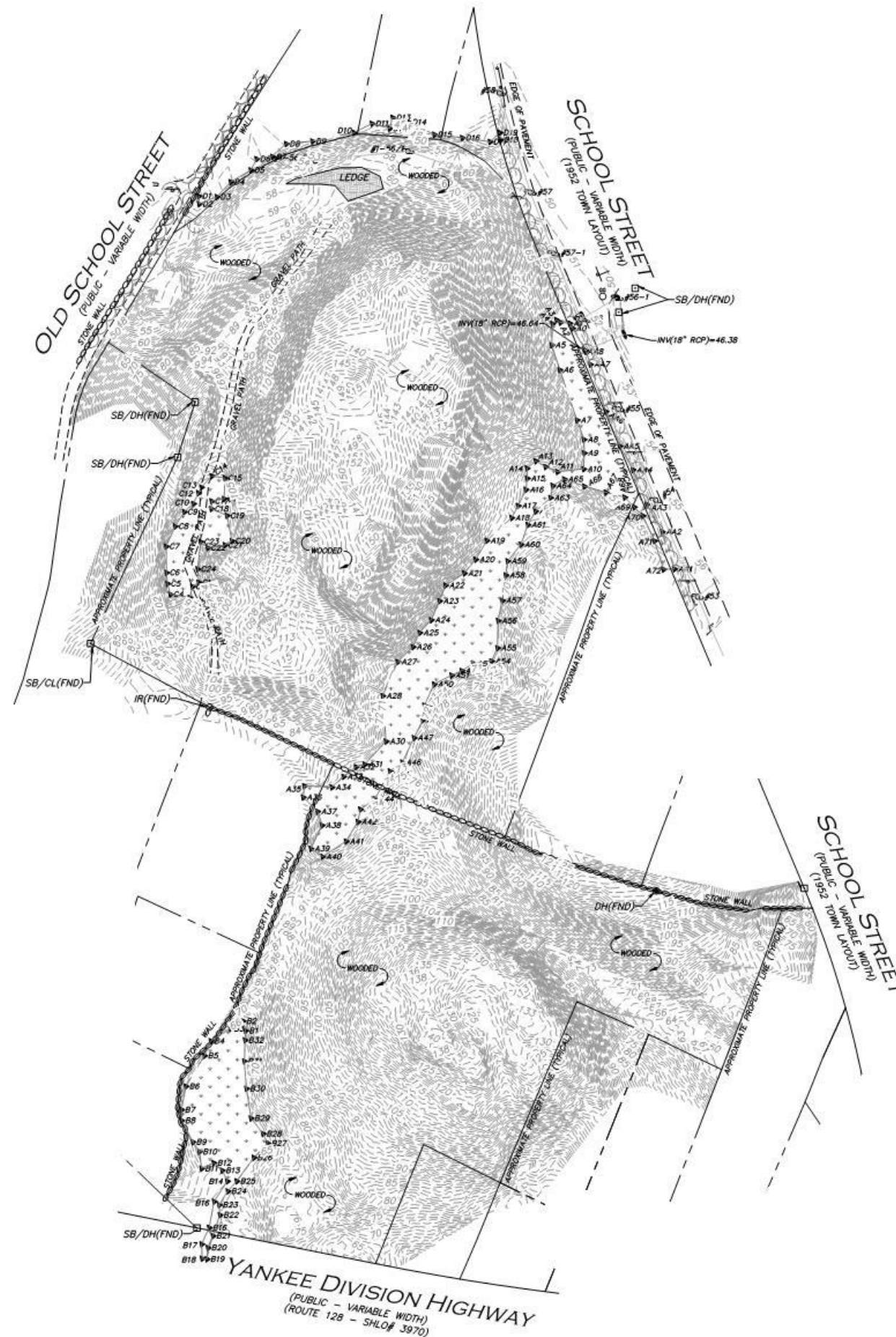
KRAGSYDE MUSEUM



THE FIRST PARISH CHURCH



AERIAL OF COVE

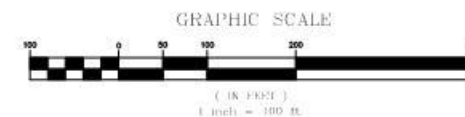


UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. WETLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES INC.



N:\PROJECTS\2725-01\SURVEY\DRAWINGS\CURRENT\5-2725-01-EC-100-SCALE.DWG
FBI 1736 PG. 109

ISSUED FOR
REVIEW
JANUARY 22, 2020

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:
ASSESSORS MAP 43, LOT 18
SCHOOL STREET
MANCHESTER BY THE SEA, MA

PROJECT NO. 2725-01 DATE: 01/22/2020

SCALE: 1" = 100' DWG. NAME: 5-2725-01-EC

DRAFTED BY: KAC CHECKED BY: NBL

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: EXISTING CONDITIONS SHEET No. V-101

A5



VIEW OF EXISTING SITE - SCHOOL ST. - FACING SOUTH



VIEW OF EXISTING SITE - SCHOOL ST - FACING WEST



VIEW OF EXISTING SITE FROM ROUTE 128 ON-RAMP - FACING NORTH



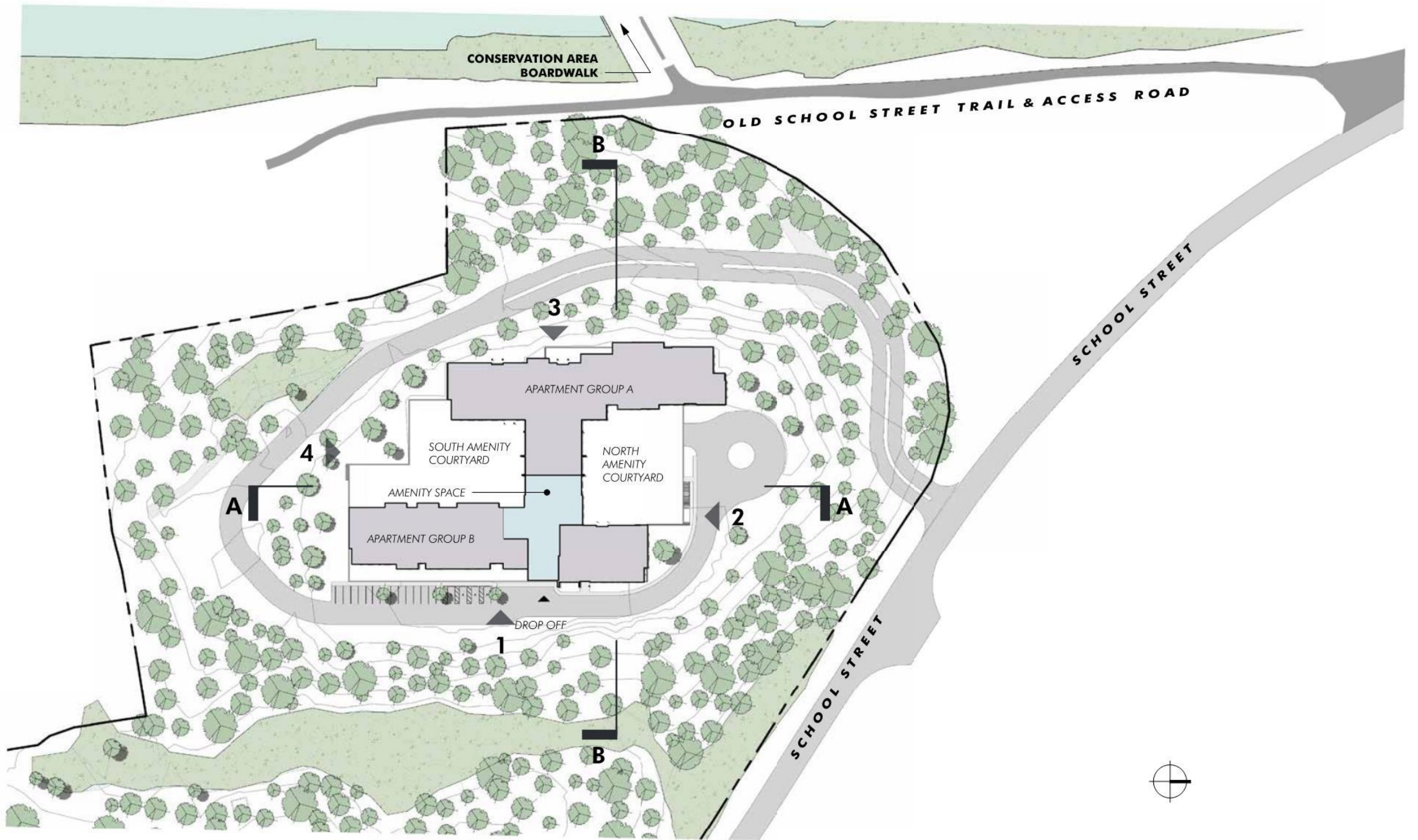
VIEW OF EXISTING SITE - ROUTE 128 - FACING EAST

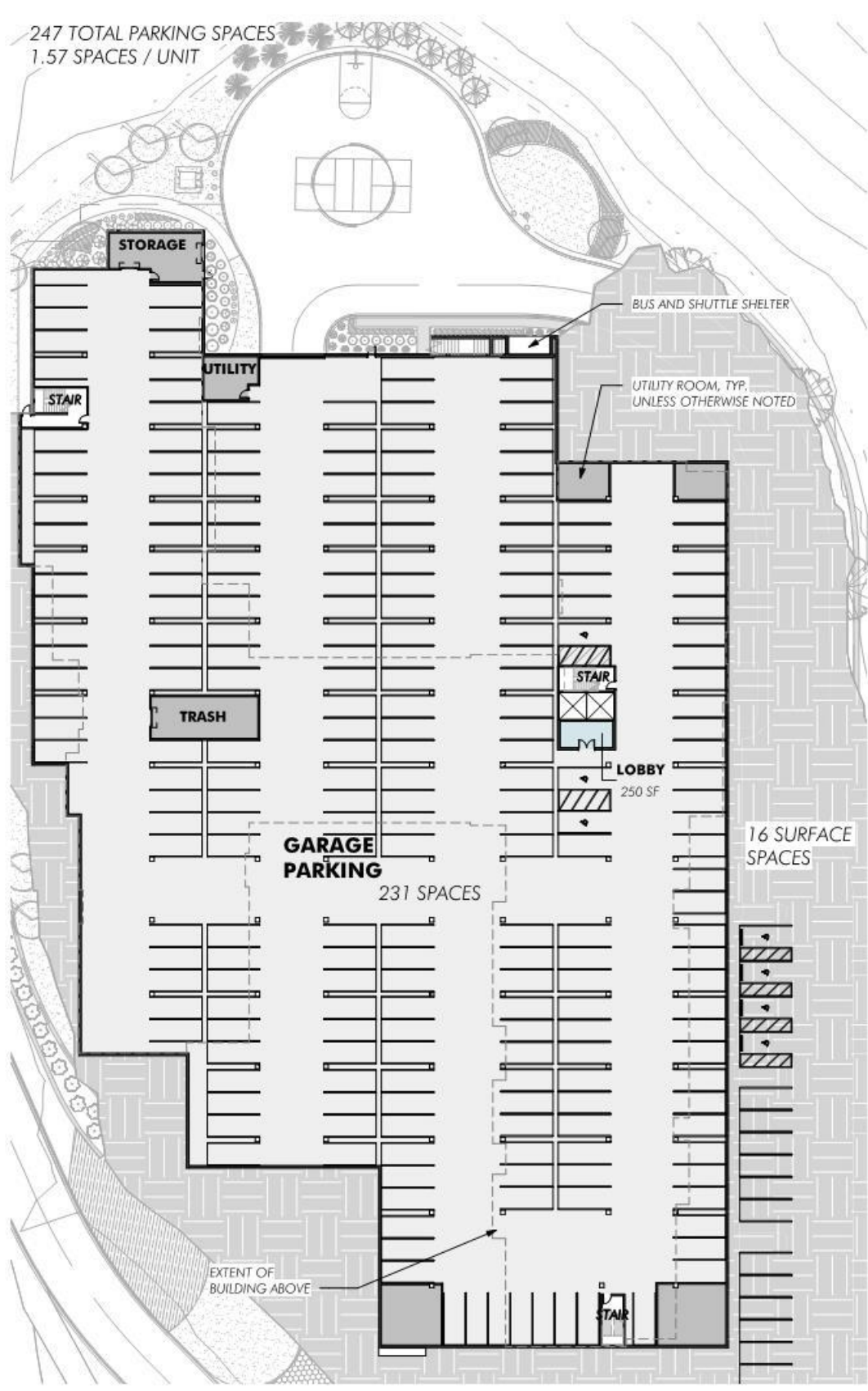


SITE PHOTOS

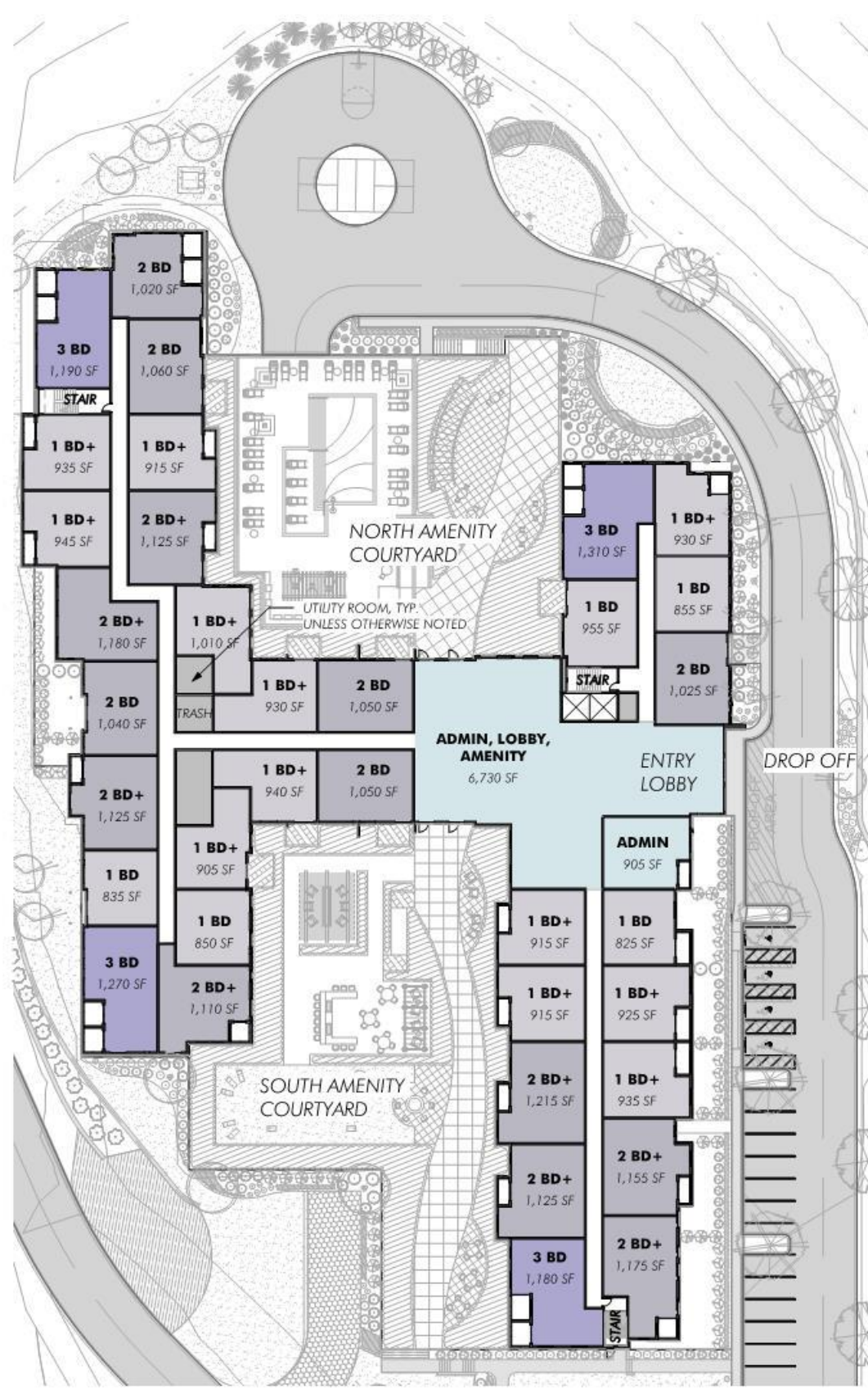
EMBARC

A6



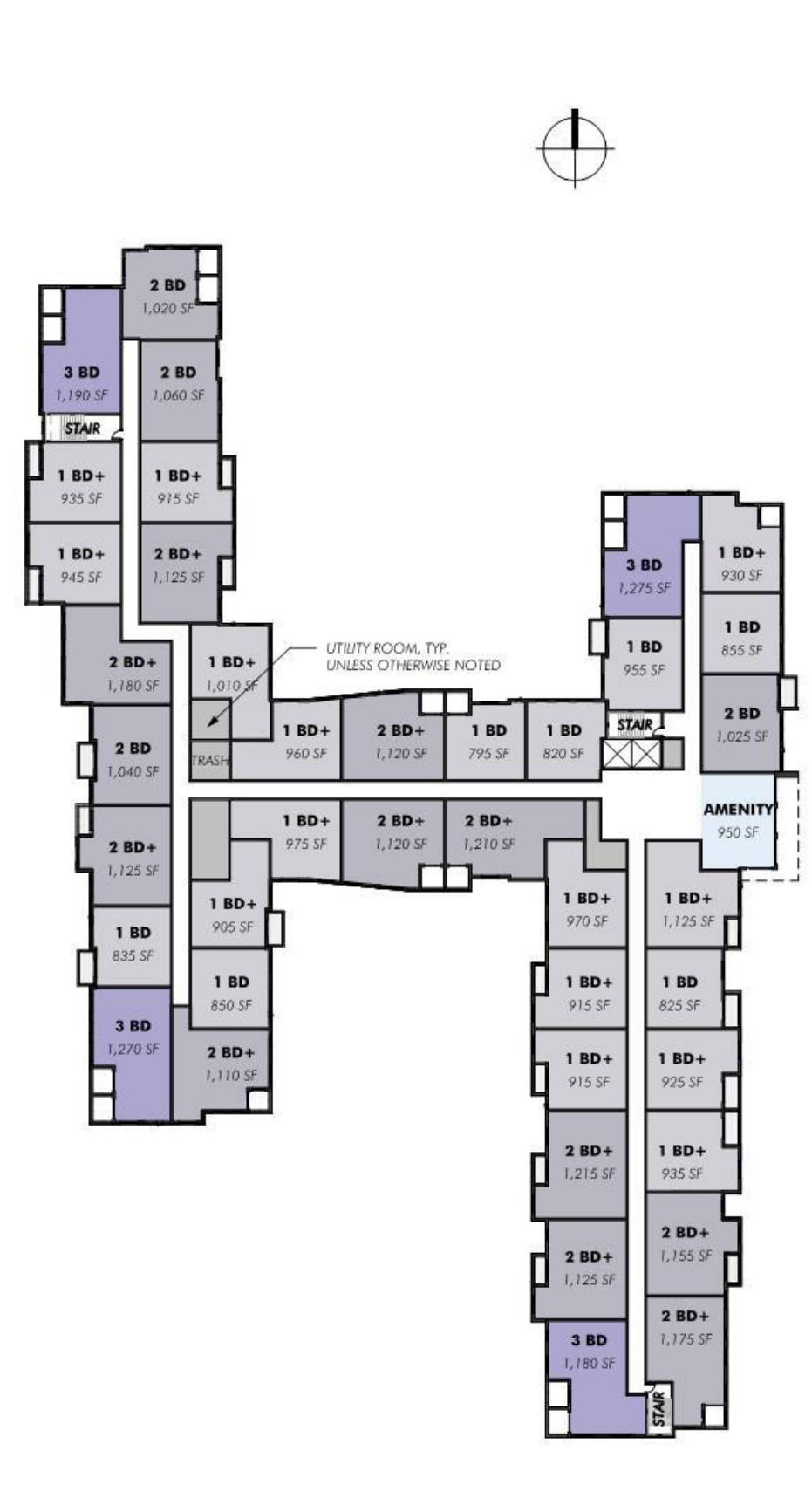


PARKING LEVEL PLAN

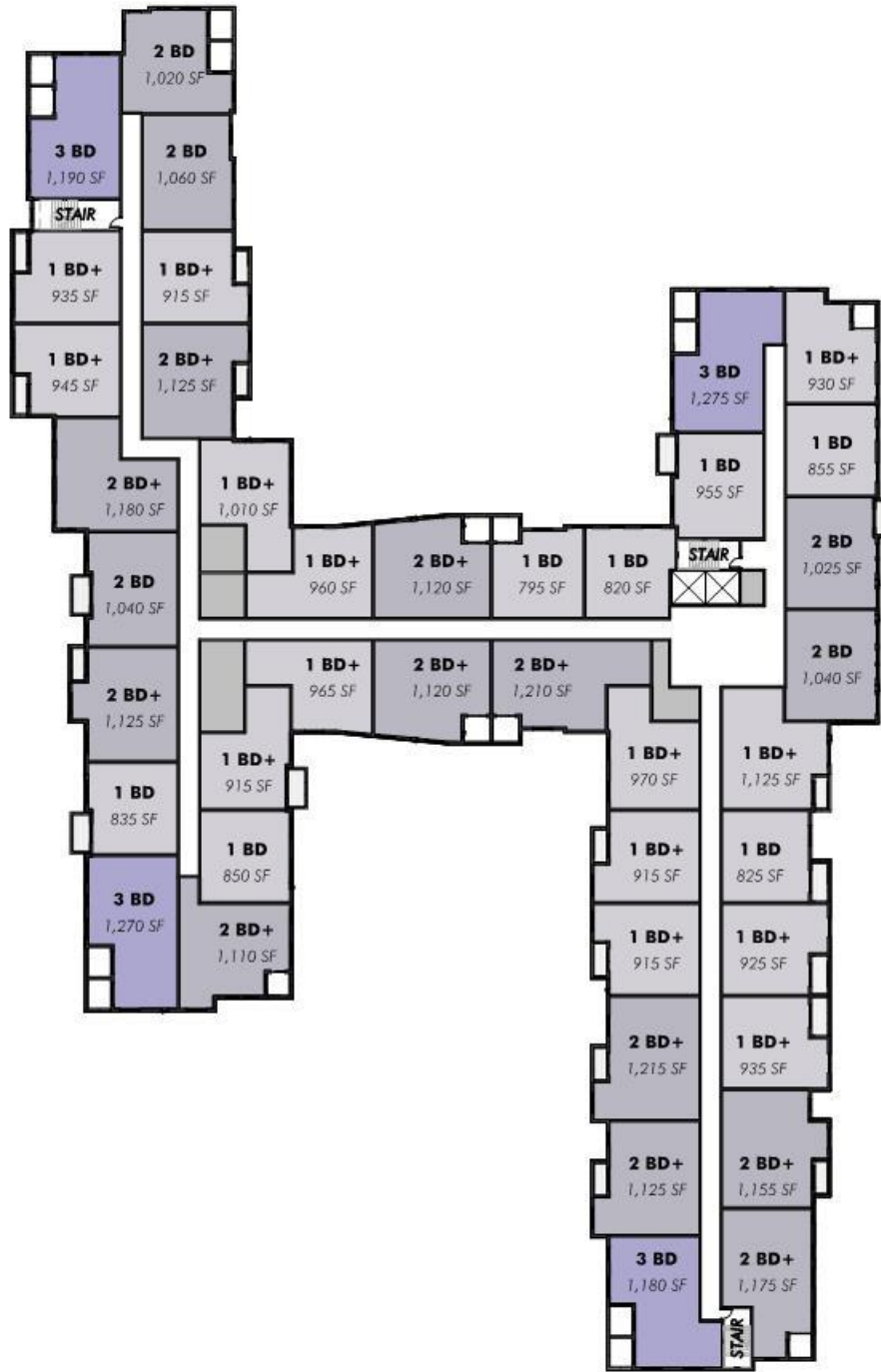


FIRST FLOOR PLAN
35 UNITS

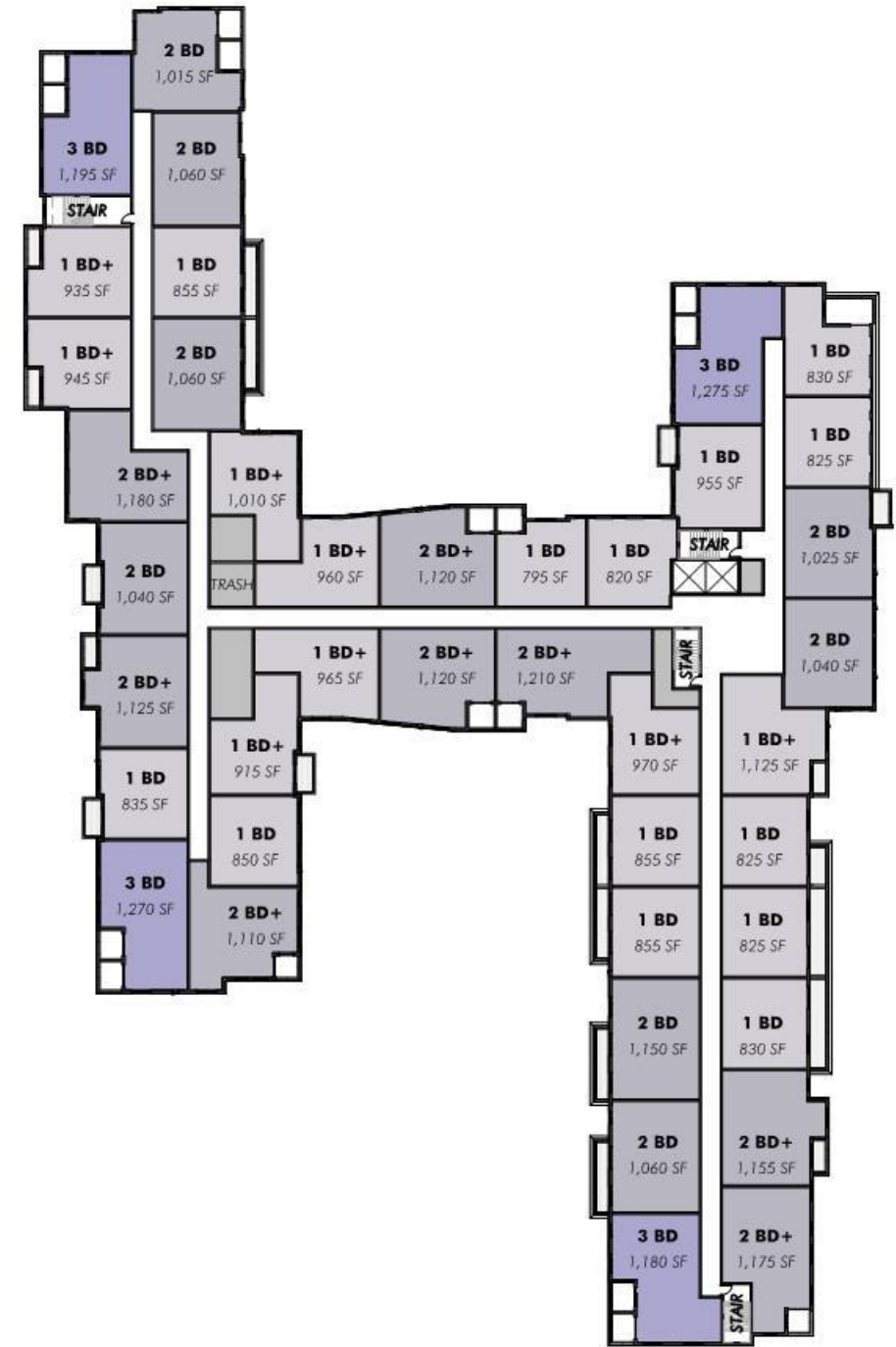
157 UNITS TOTAL



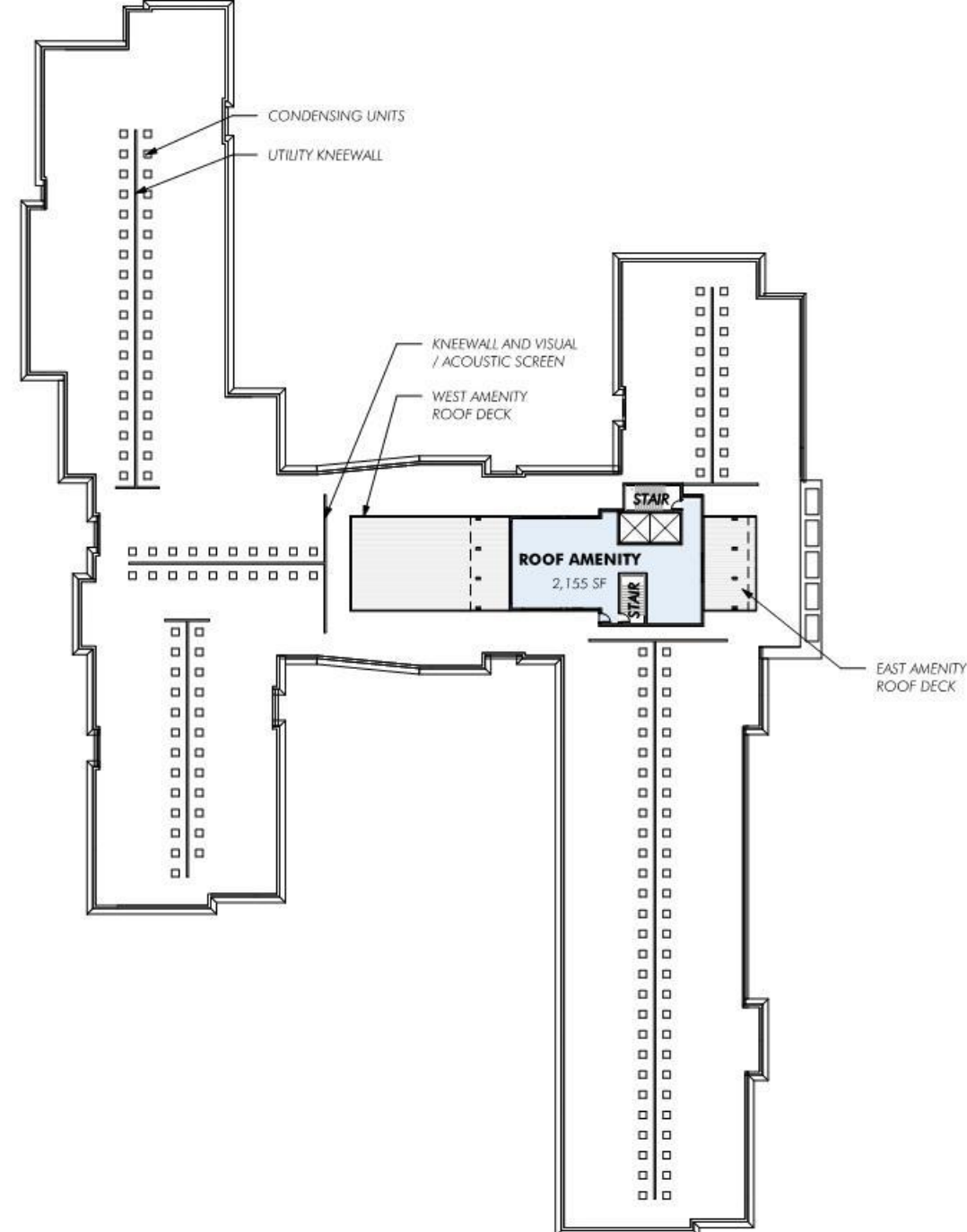
2ND FLOOR PLAN
40 UNITS



THIRD FLOOR PLAN
41 UNITS



FOURTH FLOOR PLAN
41 UNITS



ROOF PLAN
ROOFTOP AMENITY SPACE AND DECKS

THE SANCTUARY AT MANCHESTER BY THE SEA

Site Area	1,011,151 SF
1st Floor GSF	49,090
2nd Floor GSF	49,225
3rd Floor GSF	49,315
4th Floor GSF	48,585
5th Floor GSF	2,770
Total Building GSF	198,985
Parking Garage GSF	87,715
Total GSF w/ Parking	286,700
FAR	0.19
Typical Floor Plate	49,300 GSF
Site Coverage	19%
Building Height	62 FT 4 IN
Number of Stories	5
Total Parking Spaces	247
Garage Parking Spaces	231
Surface Parking Spaces	16
Parking Ratio	1.5

Total Residential Units	157
1 Bedroom	32 (20%) 850 SF Avg
1 Bedroom +	48 (31%) 960 SF Avg
2 Bedroom	23 (15%) 1,050 SF Avg
2 Bedroom +	38 (24%) 1,145 SF Avg
3 Bedroom	16 (10%) 1,240 SF Avg

Typical Residential Floor (3)	41
1 Bedroom	7
1 Bedroom +	14
2 Bedroom	5
2 Bedroom +	11
3 Bedroom	4

Indoor Amenity Space	10,740 GSF
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South Amenity Deck	16,600 GSF
North Amenity Deck	15,190 GSF
Outdoor Amenity Deck	31,790 GSF



FACADE STRATEGY

THE FACADE COMPOSITION OF THE BUILDING IS A MODERN INTERPRETATION OF EARLY 20TH CENTURY SHINGLE STYLE ARCHITECTURE, A COMMON STYLE FOUND THROUGHOUT THE NORTH SHORE OF MASSACHUSETTS

SOME QUEUES WE ARE TAKING FROM THIS BUILDING STYLE:

- NEUTRAL AND NATURAL COLOR PALETTE
- CLAPBOARD BUILDING MATERIAL
- STRONG HORIZONTAL DATUM LINES
- BALCONIES AND WINDOWS INCORPORATED INTO HORIZONTAL BANDING



40 BEACH STREET,
MANCHESTER BY THE SEA

FACADE STRATEGY

ALONG WITH SHINGLE STYLE ARCHITECTURE, THE DESIGN IS ALSO A RIFF ON THE ARCHITECTURAL STYLES PREVALENT IN THE HISTORIC CENTER OF MANCHESTER BY THE SEA

A.
CLAPBOARD AND TRIM DETAILING

B.
WINDOWS BANDED HORIZONTALLY BY TRIM. STRONG HORIZONTAL DATUM LINES CREATE "BANDS" IN FACADE. WINDOWS ARE ALIGNED HORIZONTALLY WITHIN BANDS.

C.
OUTDOOR SPACE "CUT OUT" FROM MASSING, AS OPPOSED TO BEING TACKED-ONTO MASSING



SCHOOL ST. AND MA-27
INTERSECTION,
MANCHESTER BY THE SEA



FACADE STRATEGY

THE BUILDING FACADE COMPOSITION IS A MODERN INTERPRETATION OF EARLY 20TH CENTURY SHINGLE STYLE ARCHITECTURE, AS WELL AS A RIFF ON THE HISTORIC ARCHITECTURE OF THE MANCHESTER TOWN-CENTER.

A. INCORPORATE SHINGLE STYLE DETAILING, LIKE FLAIED CLAPBOARD SKIRT

B. WINDOWS BANDED HORIZONTALLY BY TRIM. STRONG HORIZONTAL DATUM LINES

C. BALCONIES AND GLAZING CUT INTO THE HORIZONTAL BANDING. BALCONY RAILINGS ARE INCORPORATED INTO CLAPBOARD BANDING

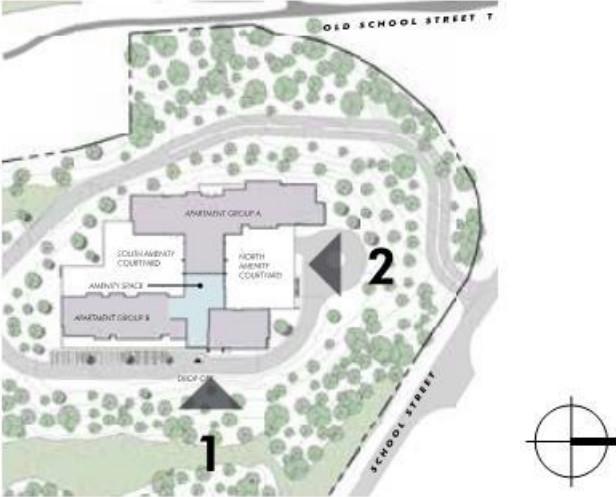
D. PLANTING AREAS INTERACT WITH BAYS AT COURTYARD TO CREATE PRIVATE OUTDOOR SPACE FOR UNITS



1 - EAST ELEVATION



2 - NORTH ELEVATION





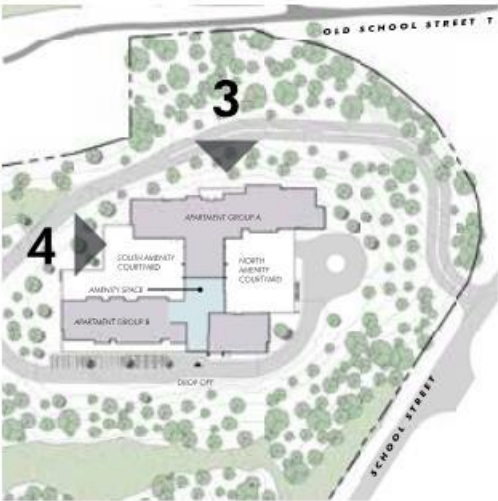
- ROOF - AMENITY
56' - 8"
- ROOF - BUILDING
45' - 8"
- LEVEL 4
33' - 8"
- LEVEL 3
22' - 8"
- LEVEL 2
11' - 8"
- LEVEL 1
0' - 0"
- PARKING LEVEL
-11' - 0"

3 - WEST ELEVATION



- ROOF - AMENITY
56' - 8"
- ROOF - BUILDING
45' - 8"
- LEVEL 4
33' - 8"
- LEVEL 3
22' - 8"
- LEVEL 2
11' - 8"
- LEVEL 1
0' - 0"
- PARKING LEVEL
-11' - 0"

4 - SOUTH ELEVATION







VIEW FROM SCHOOL ST | EMBARC



TANGRAM 3DS

VIEW FROM WALKING TRAIL | EMBARC

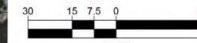
A18



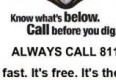




TANGRAM 3DS



CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

[illegible]

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W201119
DRAWN BY: RK
CHECKED BY: ~ PM / APM / QC ~
DATE: 12/31/1999
CAD I.D.: W201119-REND

PROJECT:

— FOR



LOT #18
SCHOOL STREET
TOWN OF MANCHESTER-BY-THE-SEA
ESSEX COUNTY,
MASSACHUSETTS

**352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772**
Phone: (508) 480-9900

www.BohlerEngineering.com

REGISTERED LANDSCAPE ARCHITECT
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419
NEW YORK No. 002359
NEW HAMPSHIRE No. 109
CONNECTICUT No. 1359
MAINE No. 4248

SHEET TITLE:

SHEET NUMBER:

ORG. DATE - 05/27/2020

PROPOSED LANDSCAPE

BOHLER //



LANDSCAPE OVERVIEW

- Overall landscape plan
- Site landscape schedule
- Proposed site plants
- Rooftop landscape schedule
- Proposed rooftop plants

LANDSCAPE SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES				
AROG	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
QA	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL.	B+B
QP	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3" CAL.	B+B
UAP	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2 1/2-3" CAL.	B+B
SUBTOTAL:				
ORNAMENTAL TREES				
AC	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	B+B
APB	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD RED JAPANESE MAPLE	6-7'	B+B
BNH	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	10-12'	B+B
MDW	MALUS 'DONALD WYMAN'	DONALD WYMAN CRABAPPLE	2-2 1/2" CAL.	B+B
MS	MALUS SARGENTII	SARGENT CRABAPPLE	2-2 1/2" CAL.	B+B
SUBTOTAL:				
EVERGREEN TREES				
PF	PINUS FLEXILIS	LIMBER PINE	6-7'	B+B
PGL	PICEA GLAUCA	WHITE SPRUCE	6-7'	B+B
PS	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B
SUBTOTAL:				
DECIDUOUS SHRUBS				
CAI	CORNUS ALBA 'IVORY HALO'	VARIEGATED RED TWIG DOGWOOD	2-3'	B+B
FG	FOTHERGILLA GARGENII	DWARF FOTHERGILLA	18-24"	CONTAINER
FXL	FORSYTHIA X INTERMEDIA 'LYNWOOD'	LYNWOOD FORSYTHIA	3-4'	B+B
HPG	HYDRANGEA PANICULATA 'GRANDIFLORA'	TREE FORM PEE GEE HYDRANGEA	4-5' HT.	B+B
HPS	HYPERICUM PATULUM 'SUNBURST'	SUNBURST ST. JOHNSWORT	18-24"	CONTAINER
HQSQ	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IXR	ILEX X VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
SUBTOTAL:				

PROPOSED HYDROSEED

EVERGREEN SHRUBS				
IGC	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY HOLLY	24-30"	B+B
JHY	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD	CONTAINER
KLO	KALMIA LATIFOLIA 'OLYMPIC FIRE'	OLYMPIC FIRE MOUNTAIN LAUREL	30-36"	B+B
LF	LEUCOTHOE FONTANESIANA 'GIRARD RAINBOW'	RAINBOW LEUCOTHOE	18-24"	CONTAINER
RCF	RHODODENDRON CALENDULACEUM	FLAME AZALEA	24-30"	B+B
RGS	RHODODENDRON X GABLE 'STEWARTSTONIAN'	STEWARTSTONIAN AZALEA	18-24"	CONTAINER
RM	RHODODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHODODENDRON	4-5'	B+B
SUBTOTAL:				
GROUND COVERS				
JHSH	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER
RABFC	ROSA 'APPLE BLOSSOM FLOWER CARPET'	APPLE BLOSSOM CARPET ROSE	2 GAL.	CONTAINER
SUBTOTAL:				
PERENNIALS				
COJ	COREOPSIS ASTERACEA 'JETHRO TULL'	TICKSEED	2 GAL.	CONTAINER
CVR	COREOPSIS VERTICILLATA 'ROSEA'	ROSEA COREOPSIS	2 GAL.	CONTAINER
HHR	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER
PL	PAEONIA LACTIFLORA	CHINESE PEONY	2 GAL.	CONTAINER
RFG	RUDBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURMBLACK-EYED SUSAN	2 GAL.	CONTAINER
SUBTOTAL:				
ORNAMENTAL GRASSES				
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER
SUBTOTAL:				

SITE LANDSCAPE SCHEDULE





October Glory Maple



White Oak



Pin Oak



Princeton Elm



Shadblow Serviceberry



Bloodgood Maple



River Birch



Donald Wyman Crabapple



Sargent Crabapple

PROPOSED SITE PLANTING

Shade Trees & Ornamental Trees

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Limber Pine



White Spruce



Eastern White Pine



Dwarf Inkberry



Olympic Fire Mt. Laurel



Rainbow Leucothoe



Stewartstonian Azalea



Rosebay Rhododendron



Flame Azalea



Andorra Juniper

PROPOSED SITE PLANTING

Evergreen Trees & Evergreen Shrubs

BOHLER //



Dwarf Fothergilla



Pee Gee Hydrangea Tree Form



Sunburst St. Johnswort



Lynnwood Forsythia



Snow Queen
Hydrangea



Red Sprite Winterberry



Ivory Halo Dogwood

PROPOSED SITE PLANTING

Deciduous Shrubs

BOHLER //

ROOFTOP LANDSCAPE SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES				
GBJ	GINKGO BILOBA 'JADE BUTTERFLY'	JADE BUTTERFLY GINKGO	2 1/2-3" CAL	B+B
SUBTOTAL:				
ORNAMENTAL TREES				
AC	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10'	B+B
SUBTOTAL:				
PERENNIALS				
DDFL	DIANTHUS DELTOIDES 'FLASHING LIGHT'	FLASHING LIGHT MAIDEN PINKS	1 GAL.	CONTAINER
EPC	ECHINACEA PURPUREA 'CHEYENNE SPIRIT'	CONEFLOWER	2 GAL.	CONTAINER
GMIV	GERANIUM MACRORRHIZUM 'INGWERSEN'S VARIETY'	INGWERSEN VARIETY GERANIUM	1 QT.	CONTAINER
ISCB	IRIS SIBIRICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER SIBERIAN IRIS	2 GAL.	CONTAINER
LMV	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	1 PT.	CONTAINER
SUBTOTAL:				
ORNAMENTAL GRASSES				
CAKF	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
FCEB	FESTUCA CINEREA 'ELIJAH'S BLUE'	BLUE FESCUE	1 GAL.	CONTAINER
MSML	MISCHANTHUS SINENSIS 'MORNING LIGHT'	SILVER VARIEGATED MAIDEN GRASS	2 GAL.	CONTAINER
SUBTOTAL:				

ROOFTOP LANDSCAPE SCHEDULE





Jade Butterfly Ginkgo



Amelanchier



Flashing Lights Dianthus



Ingwersen Geranium



Caesar's Brother Iris



Cheyenne Spirit
Coneflower



Variegated Lilyturf



Feathered Reed
Grass



Feathered Reed Grass

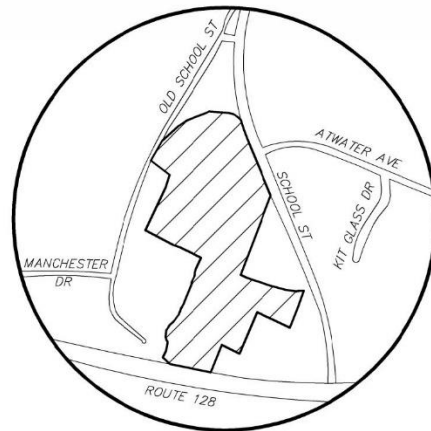


Morning Light Grass

PROPOSED ROOFTOP PLANTING

Deciduous Shrubs

BOHLER //



LOCUS MAP
NOT TO SCALE

APPLICANT:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494
617-276-7261

LAND SURVEYOR, SITE ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
781-935-6889

ARCHITECT:
EMBARC STUDIOS
60 K STREET
BOSTON, MA 02127
617-766-8330

WASTEWATER DESIGN CONSULTANT:
ONSITE ENGINEERING, INC.
279 EAST CENTRAL STREET, PMB 241
FRANKLIN, MA 02038
508-553-0616

ENVIRONMENTAL CONSULTANT:
GODDARD CONSULTING, LLC
291 MAIN STREET SUITE #8
NORTHBOROUGH, MA 01532
508.393.3784

BOHLER ENGINEERING
45 FRANKLIN STREET, 5TH FLOOR
BOSTON, MA 02110
617-849-8040

SITE DEVELOPMENT PLANS FOR THE SANCTUARY AT MANCHESTER BY THE SEA 0 SCHOOL STREET MANCHESTER-BY-THE-SEA, MA



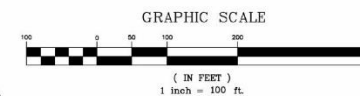
PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

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FAX: (781) 935-2896

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LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISED
CIVIL DRAWINGS			
LAYOUT & MATERIALS PLAN	C-102A & C-102B	09-24-2020	-
GRADING & DRAINAGE PLAN	C-103	09-24-2020	-
SNOW STORAGE PLAN	C-108	09-24-2020	-

**ISSUED FOR
REVIEW**
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

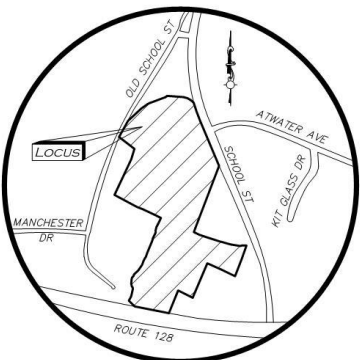
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1-888-344-7233

ISSUED FOR REVIEW : SEPTEMBER 24, 2020

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LEGEND

- | | |
|--------------------------|--|
| DRILL HOLE (DH) | |
| STONE BOUND (SB) | |
| IRON ROD (IR) | |
| UTILITY POLE | |
| UTILITY POLE W/ RISER | |
| UTILITY POLE W/LIGHT | |
| GUY WIRE | |
| GAS GATE | |
| INVERT (INV) | |
| FLARED END SECTION | |
| TEST PIT LOCATION | |
| WETLAND FLAG | |
| WETLAND AREA | |
| WETLAND | |
| 1' CONTOUR | |
| 5' CONTOUR | |
| PROPERTY LINE | |
| ABUTTERS LINE | |
| STONE WALL | |
| TREE LINE | |
| EDGE OF PAVEMENT | |
| EDGE OF GRAVEL | |
| OVERHEAD WIRES | |
| BITUMINOUS | |
| STONE BOUND W/DRILL HOLE | |
| FOUND | |
| NOW OR FORMERLY | |
| BOOK | |
| PAGE | |

LOCUS REFERENCES

- TOWN OF MANCHESTER ASSESSORS MAP 43, LOT 18
-DEED BOOK 37672, PAGE 565
-PLAN 124 OF 1960
-OWNER OF RECORD: ANDREW BROWN, TRUSTEE OF THE
BROWN FAMILY IRREVOCABLE TRUST OF 2012

PLAN REFERENCES

- STATE HIGHWAY LAYOUT 3970
- STATE HIGHWAY LAYOUT 3992
- PLAN BOOK 229, PLAN 6

NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA. VERTICAL DATUM IS NAVD 88.
3. CONTOUR INTERVAL IS ONE FOOT (1').
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5. TEST PIT LOCATIONS SHOWN HEREON PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. BY ONSITE ENGINEERING, INC.

GRAPHIC SCALE



N:\PROJECTS\2725-01\SURVEY\DRAWINGS\CURRENT\S-2725-01-EC.DWG
FB# 1736 PG. 109

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON
THE GROUND SURVEY PERFORMED ON OR
BETWEEN NOVEMBER 21, 2019 AND JANUARY
3, 2020.

THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS DATED JANUARY 1, 1976
AND REVISED JANUARY 12, 1988.

AND REVISED JANUARY 12, 1938.
ACCORDING TO DEEDS AND PLANS OF
RECORD, THE PROPERTY LINES SHOWN ON
THIS PLAN ARE THE LINES DIVIDING EXISTING
OWNERSHIP, AND THE LINES OF THE STREETS
OR WAYS SHOWN ARE THOSE OF PUBLIC OR
PRIVATE STREETS AND WAYS ALREADY
ESTABLISHED, AND THAT NO NEW LINES FOR
THE DIVISION OF EXISTING OWNERSHIP OR FOR
NEW WAYS ARE SHOWN.

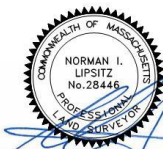
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ALLEN & MAJOR ASSOCIATES, INC.

SEPT. 21, 2020



PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION
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APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:

**ASSESSORS MAP 43, LOT 18
SCHOOL STREET
MANCHESTER BY THE SEA, MA**

PROJECT NO. 2725-01 DATE: 09/21/2020

SCALE: 1" = 50' DWG. NAME: S-2725-01-EC

DRAFTED BY: KAC | CHECKED BY: NIL

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
www.allenmajor.com

100 COMMERCE WAY, SUITE 5
WOBURN MA 01801-8501
TEL: (781) 935-6889
FAX: (781) 935-2896

FOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
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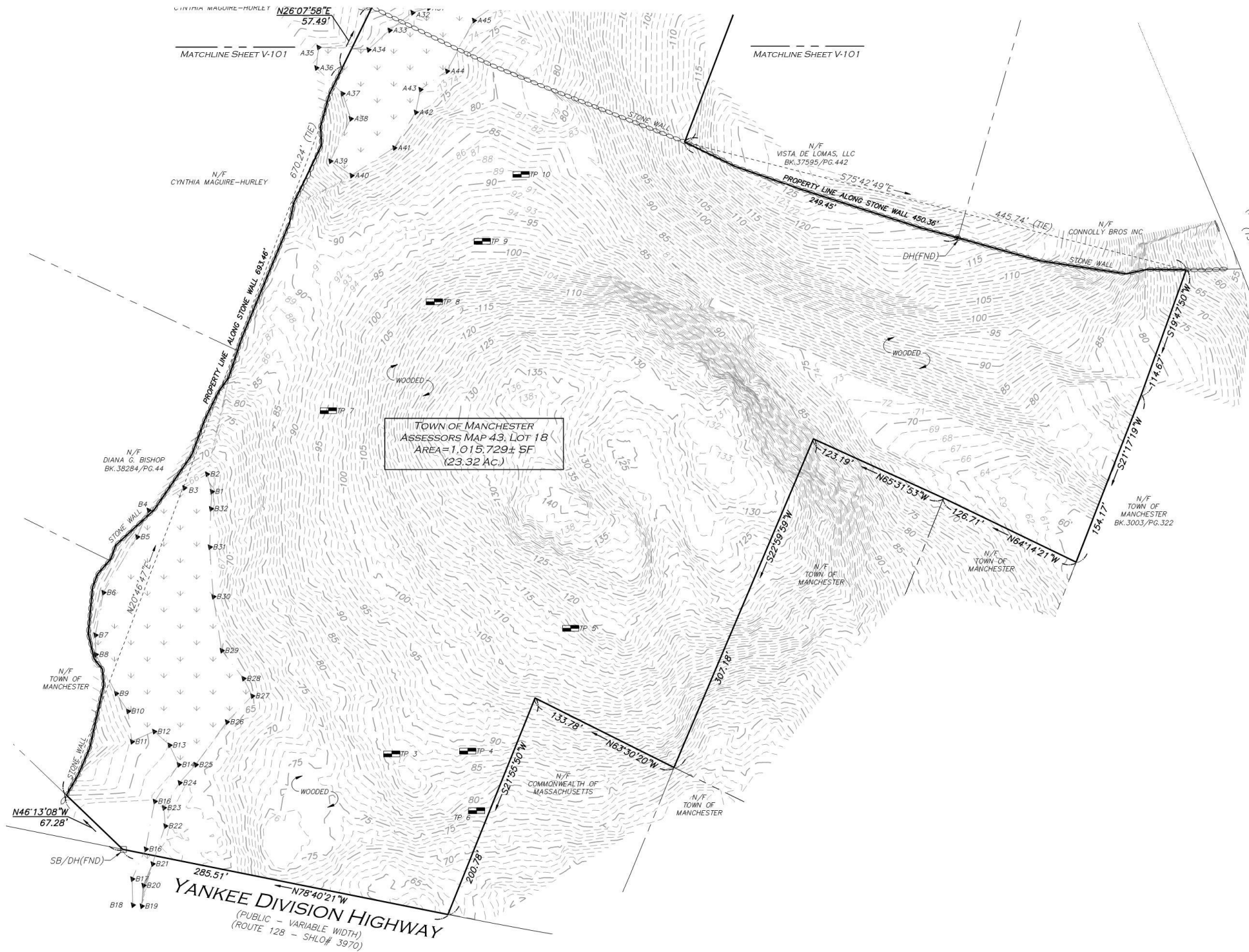
EXISTING CONDITIONS	V-101
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SHEET No.

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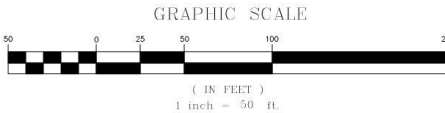


LEGEND	
DRILL HOLE (DH)	●
STONE BOUND (SB)	□
IRON ROD (IR)	○
UTILITY POLE	⊙
UTILITY POLE W/ RISER	⊕
UTILITY POLE W/ LIGHT	⊗
GUY WIRE	—
GAS GATE	—
INVERT (INV)	—
FLARED END SECTION	—
TEST PIT LOCATION	—
WETLAND FLAG	▲A31
WETLAND AREA	—
WETLAND	—
1' CONTOUR	—53—
5' CONTOUR	—55—
PROPERTY LINE	—
ABUTTERS LINE	—
STONE WALL	—
TREE LINE	—
EDGE OF PAVEMENT	—
EDGE OF GRAVEL	—
OVERHEAD WIRES	—
BITUMINOUS	BIT.
STONE BOUND W/ DRILL HOLE	SB/DH
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

LOCUS REFERENCES
—TOWN OF MANCHESTER ASSESSORS MAP 43, LOT 18
—DEED BOOK 37672, PAGE 565
—PLAN 124 OF 1960
—OWNER OF RECORD: ANDREW BROWN, TRUSTEE OF THE BROWN FAMILY IRREVOCABLE TRUST OF 2012

PLAN REFERENCES
—STATE HIGHWAY LAYOUT 3970
—STATE HIGHWAY LAYOUT 3992
—PLAN BOOK 229, PLAN 6

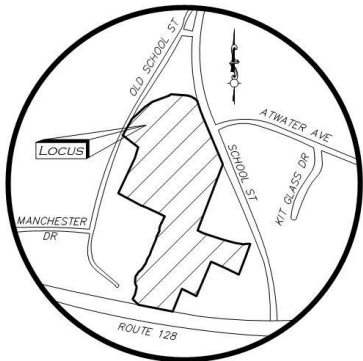
- NOTES**
1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
 2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (SOUTH) REGISTRY OF DEEDS IN SALEM, MA.
 3. VERTICAL DATUM IS NAVD 88.
 4. CONTOUR INTERVAL IS ONE FOOT (1').
 5. WETLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD CONSULTING LLC AND FIELD LOCATED BY ALLEN & MAJOR ASSOCIATES, INC.
 6. TEST PIT LOCATIONS SHOWN HEREON PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. BY ONSITE ENGINEERING, INC.



N:\PROJECTS\2725-01\SURVEY\DRAWINGS\CURRENT\5-2725-01-EC.DWG
FB# 1736 PG. 109

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



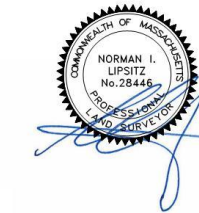
LOCUS MAP
(NOT TO SCALE)

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN NOVEMBER 21, 2019 AND JANUARY 3, 2020.
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1988.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
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ALLEN & MAJOR ASSOCIATES, INC.

SEPT. 21, 2020
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

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NEEDHAM, MA 02494

PROJECT:
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SCHOOL STREET
MANCHESTER BY THE SEA, MA

PROJECT NO. 2725-01 **DATE:** 09/21/2020

SCALE: 1" = 50' **DWG. NAME:** 5-2725-01-EC

DRAFTED BY: KAC **CHECKED BY:** NIL

PREPARED BY:

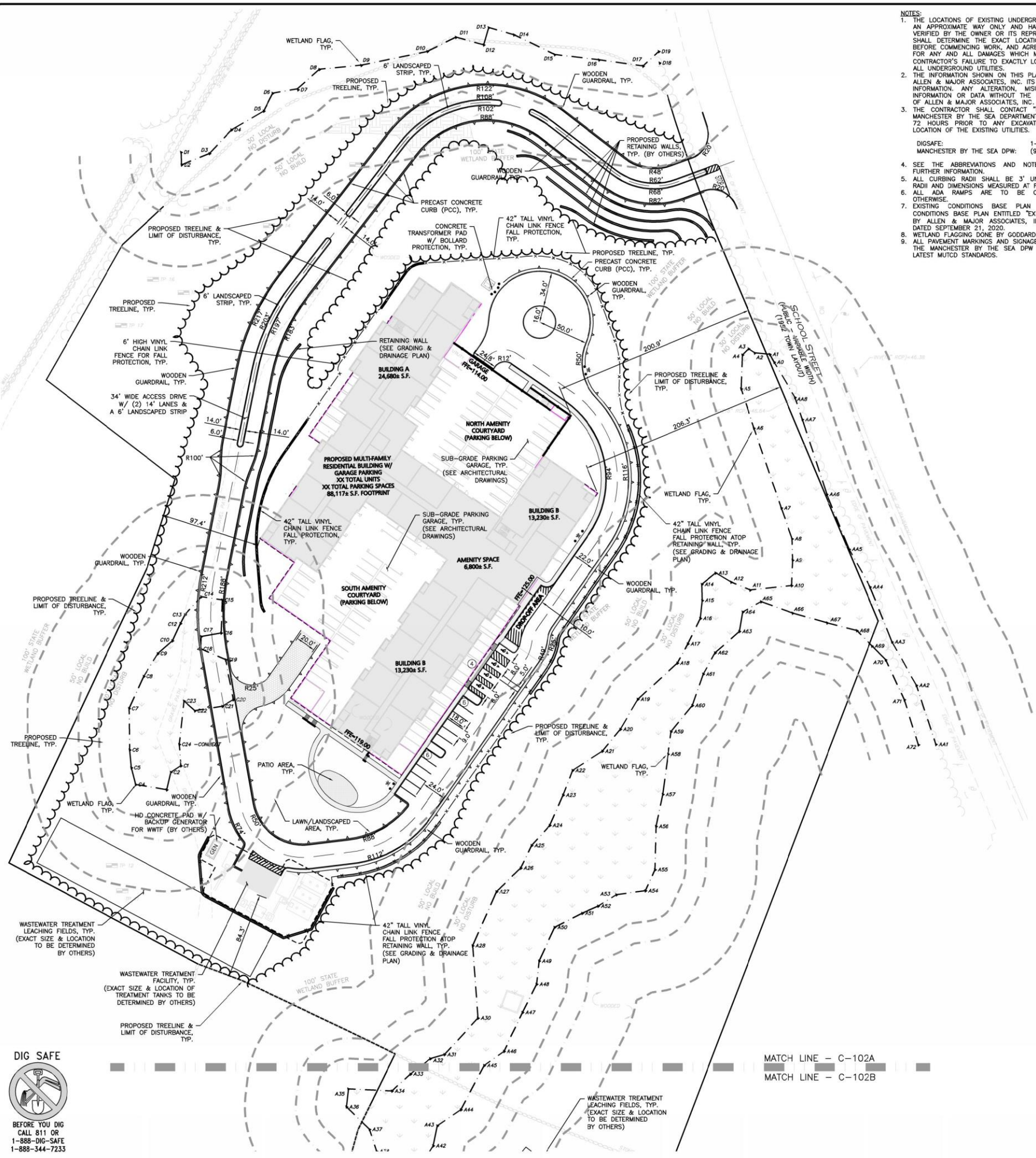
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DRAWING TITLE: EXISTING CONDITIONS
SHEET No. V-102

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- NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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 - THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE TOWN OF MANCHESTER BY THE SEA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
- DIGSAFE:
MANCHESTER BY THE SEA DPW: 1-800-344-7233
(978) 526-1242
- SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 - ALL CURBING RADI SHALL BE 3' UNLESS OTHERWISE NOTED. ALL RADI AND DIMENSIONS MEASURED AT FACE OF CURB.
 - ALL ADA RAMP ARE TO BE CONCRETE UNLESS SPECIFIED OTHERWISE.
 - EXISTING CONDITIONS BASE PLAN TAKEN FROM AN EXISTING CONDITIONS BASE PLAN ENTITLED "EXISTING CONDITIONS", PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., ORIGINAL SCALE 1"=50', DATED SEPTEMBER 21, 2020.
 - WETLAND FLAGGING DONE BY GODDARD CONSULTING.
 - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE COORDINATED WITH THE MANCHESTER BY THE SEA DPW AND SHALL CONFIRM TO THE LATEST MUTCD STANDARDS.

LEGEND:

PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING ARCHITECTURE	
CURB	
RETAINING WALL	
PARKING STRIPING	
ROADWAY STRIPING	
TRAFFIC ARROWS	
HEAVY DUTY CONCRETE	
SIDEWALK	
ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SETBACK LINE	
PARKING COUNT	
WOOD GUARDRAIL	
CHAIN LINK FENCE	
WOOD FENCE	
TREE LINE	
TRANSFORMER	

PARKING SUMMARY CHART

USE:	RESIDENTIAL HOMES:			
	80 ONE-BEDROOMS PROVIDED	(1 BEDROOM = 2 SPACES)	=	160 SPACES
	61 TWO-BEDROOMS PROVIDED	(2 BEDROOMS = 3 SPACES)	=	183 SPACES
	16 THREE-BEDROOMS PROVIDED	(3 BEDROOMS = 5 SPACES)	=	80 SPACES
	00 FOUR-BEDROOMS PROVIDED	(4 BEDROOMS = 6 SPACES)	=	00 SPACES
		TOTAL SPACES REQUIRED	=	423 SPACES

247 TOTAL PARKING SPACES ARE CURRENTLY PROPOSED, 231 OF WHICH ARE LOCATED WITHIN THE POULUM/GARAGE PARKING AREAS AND 16 TOTAL SURFACE PARKING STALLS, FOR A PROPOSED PARKING RATIO OF 1.50 SPACES PER 1 DWELLING UNIT.

ADA REQUIRED:
THERE ARE BETWEEN 201 AND 300 TOTAL PARKING SPACES REQUIRING 7 ACCESSIBLE STALLS PER ADA REGULATIONS AND 2 OF THEM TO BE VAN ACCESSIBLE.

ADA PROVIDED:
7 ADA ACCESSIBLE SPACES, 3 OF WHICH SHALL BE VAN ACCESSIBLE

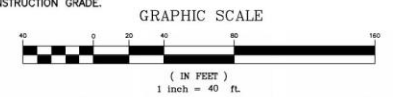
SURFACE PARKING	STRUCTURED PARKING	TOTAL PARKING
STANDARD SPACES	STANDARD SPACES	TOTAL PROVIDED
12	228	247
4	3	423

PARKING NOTES:
(1) OFF-STREET PARKING SPACES SHALL BE DESIGNED WITH MINIMUM DIMENSIONS OF 9 FEET BY 18 FEET.

LAND USAGE TABLE - LIMITED COMMERCIAL DISTRICT (LCD) & WATER RESOURCE OVERLAY PROTECTION DISTRICTS - ZONE 3

ITEM	EXISTING	PROPOSED	REQUIRED/ALLOWED
MINIMUM LOT AREA (2)	23.72± ACRES	23.72 ACRES	5.00 ACRES
MINIMUM FRONTAGE (1)	495.2 FEET	495.2 FEET	N/A
MINIMUM LOT WIDTH	291.2 FEET (6)	291.2 FEET	500 FEET
MAXIMUM BUILDING COVERAGE (3)	0%	7.6%	20%
MAXIMUM PARKING COVERAGE (3)	0%	0.29%	25%
MINIMUM LANDSCAPED COVERAGE(3)	100%	87.3%	25%
MAXIMUM IMPERVIOUS COVERAGE (5)	0%	12.7%	15%
MINIMUM FRONT YARD (4)	N/A	200.9 FEET	150 FEET
MINIMUM SIDE YARD (4)	N/A	97.4 FEET	100 FEET
MINIMUM REAR YARD (4)	N/A	84.3 FEET	100 FEET
MAXIMUM BUILDING HEIGHT (7)	N/A	44.4' (3 STORIES) (8)	35' (2.5 STORIES)
MINIMUM PARKING AREA INTERIOR LANDSCAPING	N/A	15.5%	5%

- LAND USAGE TABLE NOTES:
- SECTION 5.3 - SETBACK: IN THE CASE OF A LOT ABUTTING MORE THAN ONE STREET, THE MINIMUM FRONT SETBACK SHALL BE APPLICABLE TO EACH STREET. THE MINIMUM SETBACK REQUIREMENTS SHALL NOT APPLY TO THE PROJECTIONS OF STEPS, EAVES, CHIMNEYS, AND CORNICES, WINDOW SILLS OR BELT COURSES.
 - SECTION 5.7 - LIMITED COMMERCIAL DISTRICT: NOT WITHSTANDING THE FOREGOING PROVISIONS OF THIS SECTION 5.0, THE FOLLOWING REQUIREMENTS SHALL BE MET IN THE LIMITED COMMERCIAL DISTRICT:
 - SECTION 5.7.1 - EACH BUSINESS, DEFINED AS A SINGLE-USE UNDER ONE OWNERSHIP, SHALL BE LOCATED ON A LOT OF NOT LESS THAN FIVE (5) ACRES AND A MINIMUM WIDTH AT ALL POINTS OF NOT LESS THAN FIVE HUNDRED (500) FEET.
 - SECTION 5.7.2 - THE STRUCTURES ON THE LOT SHALL COVER NOT MORE THAN TWENTY PERCENT (20%) OF THE LOT AREA AND AT LEAST TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE OF NATURAL OR LANDSCAPED AREA. NOT MORE THAN TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE USED FOR PARKING.
 - SECTION 5.7.3 - ALL STRUCTURES SHALL BE SET BACK FROM ANY STREET AT LEAST ONE HUNDRED AND FIFTY (150) FEET, AND ONE HUNDRED (100) FEET FROM ANY OTHER LOT LINE.
 - SECTION 4.9.5.1(p) - LAND USE (WITHIN THE WATER RESOURCE OVERLAY PROTECTION DISTRICT - ZONE 3) THAT RESULTS IN THE RENDERING OF MORE THAN 15% IMPERVIOUS AREA OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, SHALL BE PROHIBITED UNLESS A SYSTEM FOR ARTIFICIAL RECHARGE OF PRECIPITATION IS PROVIDED WHICH IS SATISFACTORY TO THE PLANNING BOARD, THAT WILL NOT RESULT IN THE DEGRADATION OF GROUNDWATER QUALITY.
 - EXISTING NON-CONFORMING ZONING REQUIREMENT.
 - SECTION 5.5 - HEIGHT RESTRICTIONS - NO STRUCTURE SHALL BE ERRECTED OR ALTERED SO THAT IT EXCEEDS 2-1/2 STORIES OR SO THAT THE VERTICAL DISTANCE MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE MEAN PRE-CONSTRUCTION GRADE EXCEEDS 35 FEET, WHICHEVER IS LESSER. CHIMNEYS, SPIRES, OR TOWERS NOT USED FOR HUMAN OCCUPANCY MAY EXTEND TEN (10) FEET ABOVE HEIGHT LIMITS.
 - MEAN PRE-CONSTRUCTION GRADE IS DEFINED AS A REFERENCE PLANE REPRESENTING THE AVERAGE ELEVATION OF PRE-CONSTRUCTION GROUND ADJOINING THE BUILDING AT ALL EXTERIOR WALLS. A HALF STORY IS DEFINED AS A STORY WITH A SLOPING ROOF, THE AREA OF WHICH STORY AT A HEIGHT OF FOUR (4) FEET ABOVE THE FLOOR DOES NOT EXCEED TWO-THIRDS OF THE FLOOR AREA OF THE STORY IMMEDIATELY BELOW IT. SEE SHEET C-102 ENTITLED "MEAN PRE-CONSTRUCTION GRADE PLAN" FOR CALCULATION OF THE MEAN PRE-CONSTRUCTION GRADE.



N:\PROJECTS\2725-01\CIVIL\DRAWINGS\CURRENT\C-2725-01_LAYOUT & MATERIALS.DWG

ISSUED FOR REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

PROJECT:
THE SANCTUARY AT
MANCHESTER BY THE SEA
0 SCHOOL STREET
MANCHESTER-BY-THE-SEA, MA

PROJECT NO. 2725-01 DATE: 09-24-2020
SCALE: 1"=40' DWG. NAME: C2725-01
DESIGNED BY: CMQ/SJL CHECKED BY: CMQ

79127-0021.DWG

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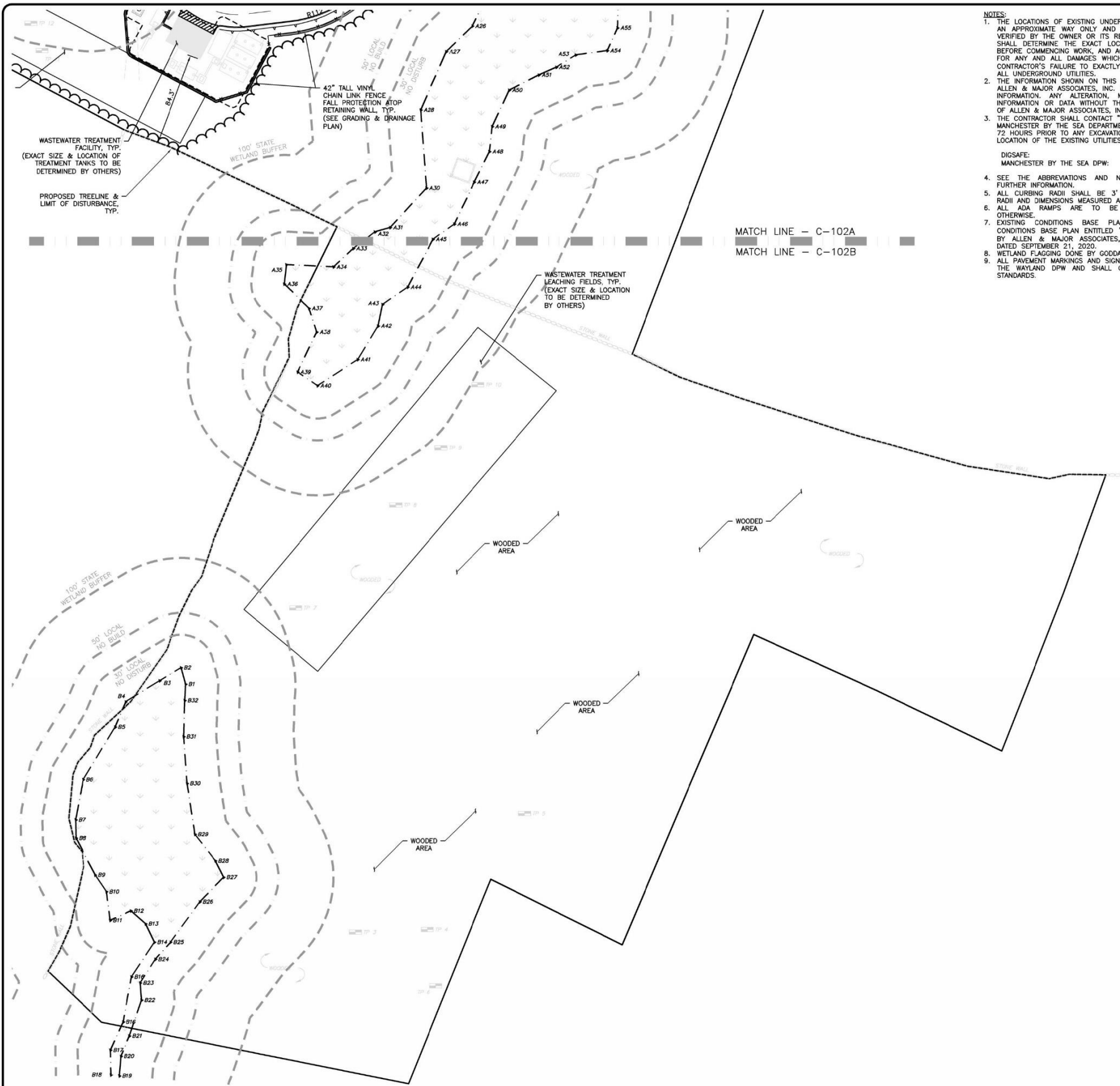
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET NO. C-102A

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1-888-DIG-SAFE
1-888-344-7233



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LEGEND:

PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING ARCHITECTURE	
CURB	
RETAINING WALL	
PARKING STRIPING	
ROADWAY STRIPING	
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ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SETBACK LINE	
PARKING COUNT	
WOOD GUARDRAIL	
CHAIN LINK FENCE	
WOOD FENCE	
TREE LINE	
TRANSFORMER	

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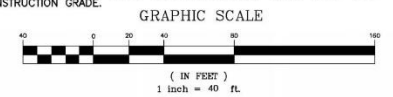
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STANDARD SPACES	ACCESSIBLE SPACES	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL PROVIDED	TOTAL REQUIRED
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- LAND USAGE TABLE NOTES:
- (1) SECTION 5.3 - SETBACK: IN THE CASE OF A LOT ABUTTING MORE THAN ONE STREET, THE MINIMUM FRONT SETBACK SHALL BE APPLICABLE TO EACH STREET. THE MINIMUM SETBACK REQUIREMENTS SHALL NOT APPLY TO THE PROJECTIONS OF STEPS, EAVES, CHIMNEYS, AND CORNICES, WINDOW SILLS OR BELT COURSES.
 - SECTION 5.7 - LIMITED COMMERCIAL DISTRICT: NOT WITHSTANDING THE FOREGOING PROVISIONS OF THIS SECTION 5.0, THE FOLLOWING REQUIREMENTS SHALL BE MET IN THE LIMITED COMMERCIAL DISTRICT:
 - (2) SECTION 5.7.1 - EACH BUSINESS, DEFINED AS A SINGLE-USE UNDER ONE OWNERSHIP, SHALL BE LOCATED ON A LOT OF NOT LESS THAN FIVE (5) ACRES AND A MINIMUM WIDTH AT ALL POINTS OF NOT LESS THAN FIVE HUNDRED (500) FEET.
 - (3) SECTION 5.7.2 - THE STRUCTURES ON THE LOT SHALL COVER NOT MORE THAN TWENTY PERCENT (20%) OF THE LOT AREA AND AT LEAST TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE OF NATURAL OR LANDSCAPED AREA. NOT MORE THAN TWENTY FIVE PERCENT (25%) OF THE LOT SHALL BE USED FOR PARKING.
 - (4) SECTION 5.7.3 - ALL STRUCTURES SHALL BE SET BACK FROM ANY STREET AT LEAST ONE HUNDRED AND FIFTY (150) FEET, AND ONE HUNDRED (100) FEET FROM ANY OTHER LOT LINE.
 - (5) SECTION 4.9.5.1(p) - LAND USE (WITHIN THE WATER RESOURCE OVERLAY PROTECTION DISTRICT - ZONE 3) THAT RESULTS IN THE RENDERING OF MORE THAN 15% IMPERVIOUS AREA OR 2,500 SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, SHALL BE PROHIBITED UNLESS A SYSTEM FOR ARTIFICIAL RECHARGE OF PRECIPITATION IS PROVIDED WHICH IS SATISFACTORY TO THE PLANNING BOARD, THAT WILL NOT RESULT IN THE DEGRADATION OF GROUNDWATER QUALITY.
 - (6) EXISTING NON-CONFORMING ZONING REQUIREMENT.
 - (7) SECTION 5.5 - HEIGHT RESTRICTIONS - NO STRUCTURE SHALL BE ERRECTED OR ALTERED SO THAT IT EXCEEDS 2-1/2 STORIES OR SO THAT THE VERTICAL DISTANCE MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE MEAN PRE-CONSTRUCTION GRADE EXCEEDS 35 FEET, WHICHEVER IS LESSER. CHIMNEYS, SPIRES, OR TOWERS NOT USED FOR HUMAN OCCUPANCY MAY EXTEND TEN (10) FEET ABOVE HEIGHT LIMITS.
 - (8) MEAN PRE-CONSTRUCTION GRADE IS DEFINED AS A REFERENCE PLANE REPRESENTING THE AVERAGE ELEVATION OF PRE-CONSTRUCTION GROUND ADJOINING THE BUILDING AT ALL EXTERIOR WALLS. A HALF STORY IS DEFINED AS A STORY WITH A SLOPING ROOF, THE AREA OF WHICH STORY AT A HEIGHT OF FOUR (4) FEET ABOVE THE FLOOR DOES NOT EXCEED TWO-THIRDS OF THE FLOOR AREA OF THE STORY IMMEDIATELY BELOW IT. SEE SHEET C-109 ENTITLED "MEAN PRE-CONSTRUCTION GRADE PLAN" FOR CALCULATION OF THE MEAN PRE-CONSTRUCTION GRADE.



ISSUED FOR REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
NEEDHAM, MA 02494

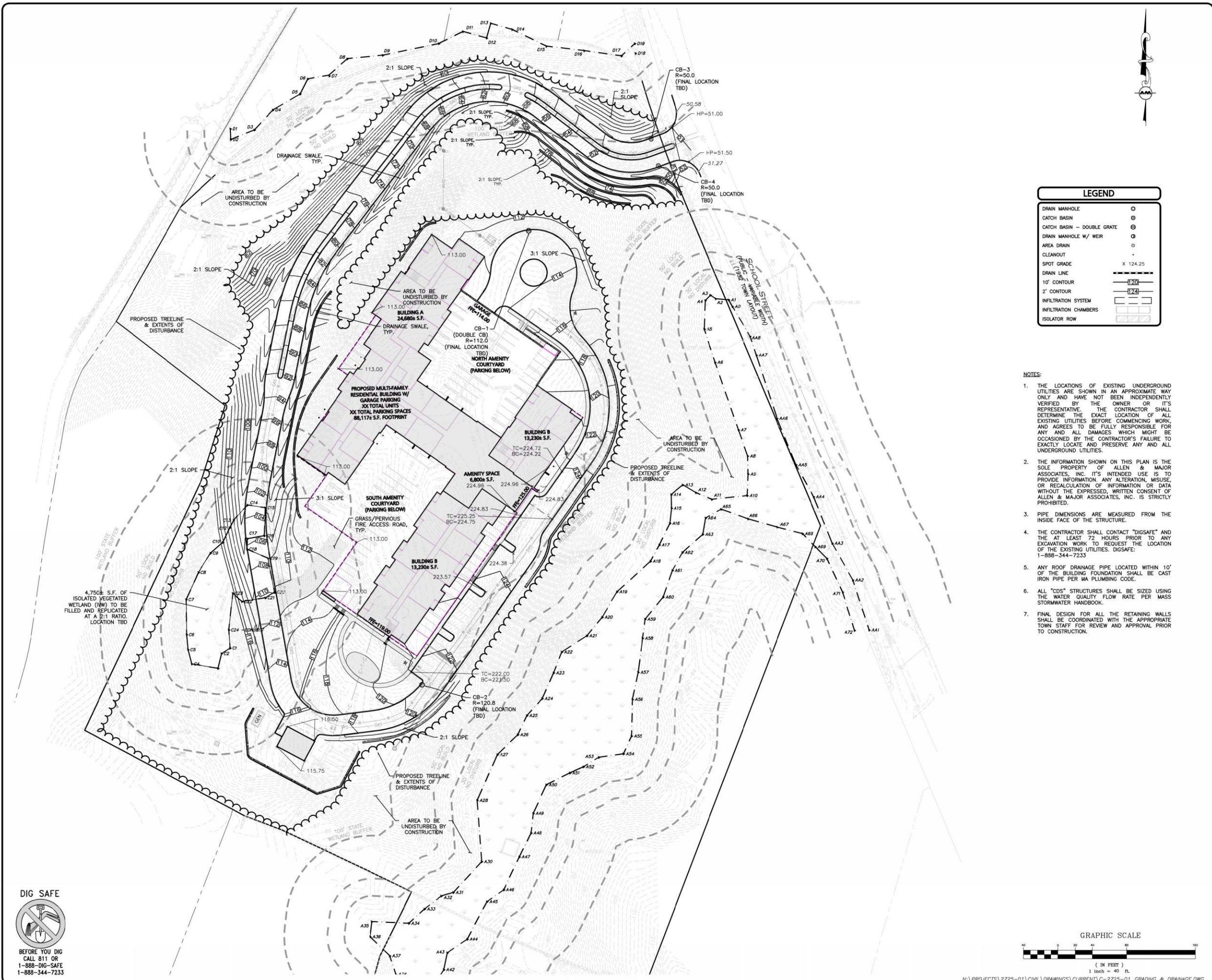
PROJECT:
THE SANCTUARY AT
MANCHESTER BY THE SEA
0 SCHOOL STREET
MANCHESTER-BY-THE-SEA, MA

PROJECT NO. 2725-01 DATE: 09-24-2020
SCALE: 1"=40' DWG. NAME: C2725-01
DESIGNED BY: CMQ/SJL CHECKED BY: CMQ

Allen & Major Associates, Inc.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCIAL WAY, SUITE 5
WOBURN MA 01801-5001
TEL: (781) 935-6889
FAX: (781) 935-2886

DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102B

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LEGEND	
DRAIN MANHOLE	○
CATCH BASIN	⊙
CATCH BASIN - DOUBLE GRATE	⊗
DRAIN MANHOLE W/ WEIR	⊖
AREA DRAIN	○
CLEANOUT	•
SPOT GRADE	X 124.25
DRAIN LINE	—
10' CONTOUR	—120—
2' CONTOUR	—124—
INFILTRATION SYSTEM	—
INFILTRATION CHAMBERS	—
ISOLATOR ROW	—

- NOTES:
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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 3. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
 4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES. DIGSAFE: 1-888-344-7233
 5. ANY ROOF DRAINAGE PIPE LOCATED WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE CAST IRON PIPE PER MA PLUMBING CODE.
 6. ALL "CDS" STRUCTURES SHALL BE SIZED USING THE WATER QUALITY FLOW RATE PER MASS STORMWATER HANDBOOK.
 7. FINAL DESIGN FOR ALL THE RETAINING WALLS SHALL BE COORDINATED WITH THE APPROPRIATE TOWN STAFF FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

ISSUED FOR
REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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APPLICANT/OWNER:
SLV SCHOOL STREET, LLC
257 HILLSIDE AVENUE
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PROJECT:
THE SANCTUARY AT
MANCHESTER BY THE SEA
0 SCHOOL STREET
MANCHESTER-BY-THE-SEA, MA

PROJECT NO.	2725-01	DATE:	09-24-2020
SCALE:	1"=40'	DWG. NAME:	C2725-01
DESIGNED BY:	CMQ/SJL	CHECKED BY:	CMQ

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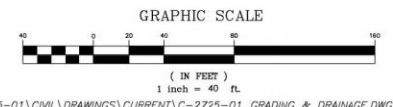
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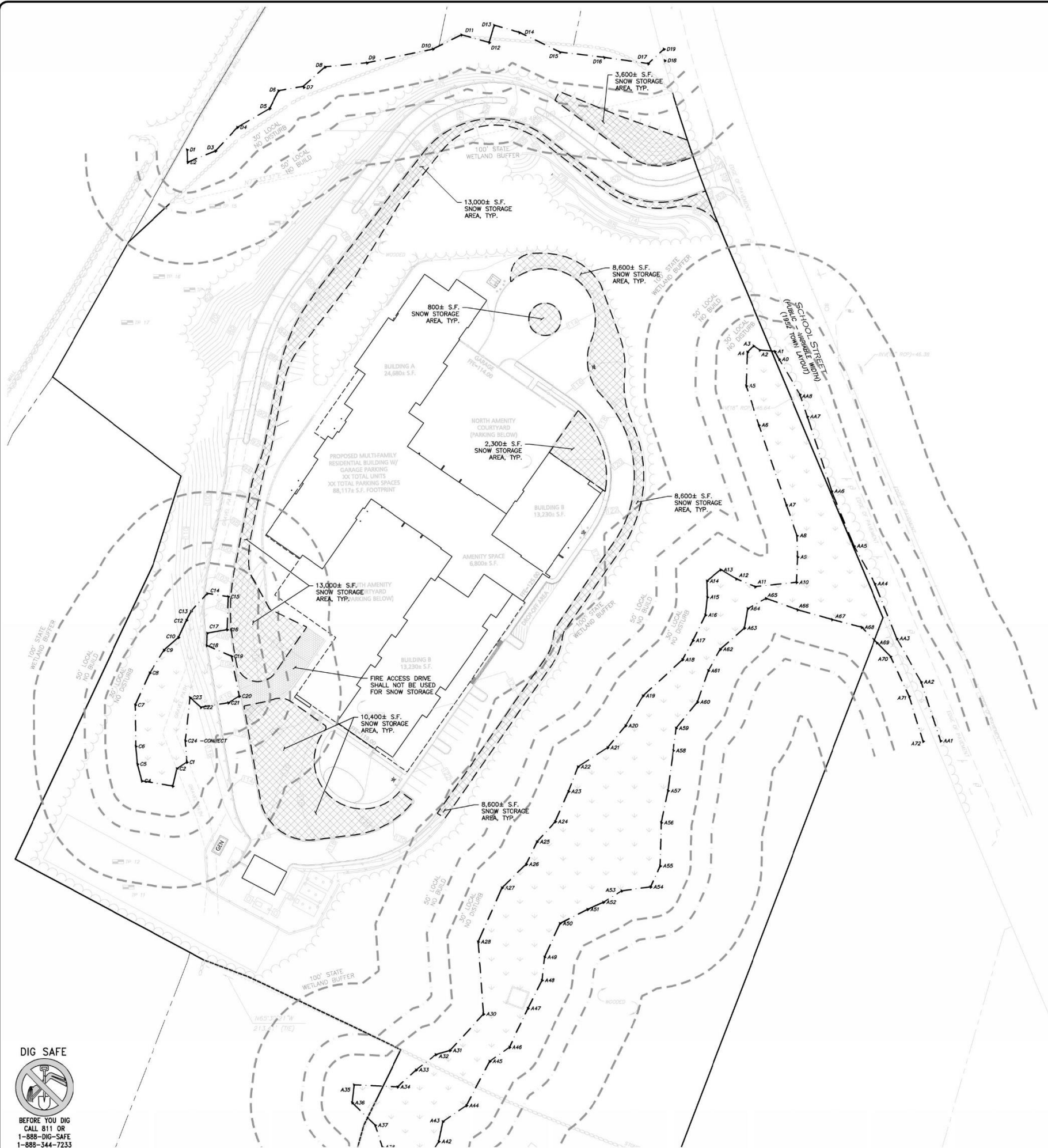
DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET No. C-103

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LEGEND

SNOW STORAGE AREA

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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 - SNOW WILL BE STOCKPILED ON SITE UNTIL THERE IS NOT ENOUGH SPACE, AS NECESSARY, THE SNOW WILL BE REMOVED AND DISPOSED OF OFF-SITE. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO PROPERLY DISPOSE OF TRANSPORTED SNOW ACCORDING TO MASSACHUSETTS DEP, BUREAU OF RESOURCE PROTECTION - MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATER RESOURCES SNOW DISPOSAL GUIDANCE EFFECTIVE DATE: DECEMBER 23, 2019, GOVERNING THE PROPER DISPOSAL OF SNOW. IT WILL BE THE RESPONSIBILITY OF THE SNOW REMOVAL CONTRACTOR TO FOLLOW THESE GUIDELINES AND ALL APPLICABLE LAWS AND REGULATIONS.
 - TOTAL SNOW STORAGE AREA ON SITE: **38,700± S.F.**

ISSUED FOR REVIEW
SEPTEMBER 24, 2020

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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PROJECT:
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0 SCHOOL STREET
MANCHESTER-BY-THE-SEA, MA**

PROJECT NO. 2725-01 DATE: 09-24-2020

SCALE: 1"=40' DWG. NAME: C2725-01

DESIGNED BY: CMQ/SJL CHECKED BY: CMQ

PREPARED BY:

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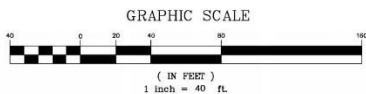
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SNOW STORAGE PLAN C-108

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Proposed Residential Community School Street Manchester-by-the Sea, Massachusetts

Transportation Impact Assessment Summary

Prepared by:



October 29, 2020

Transportation Impact Assessment Summary

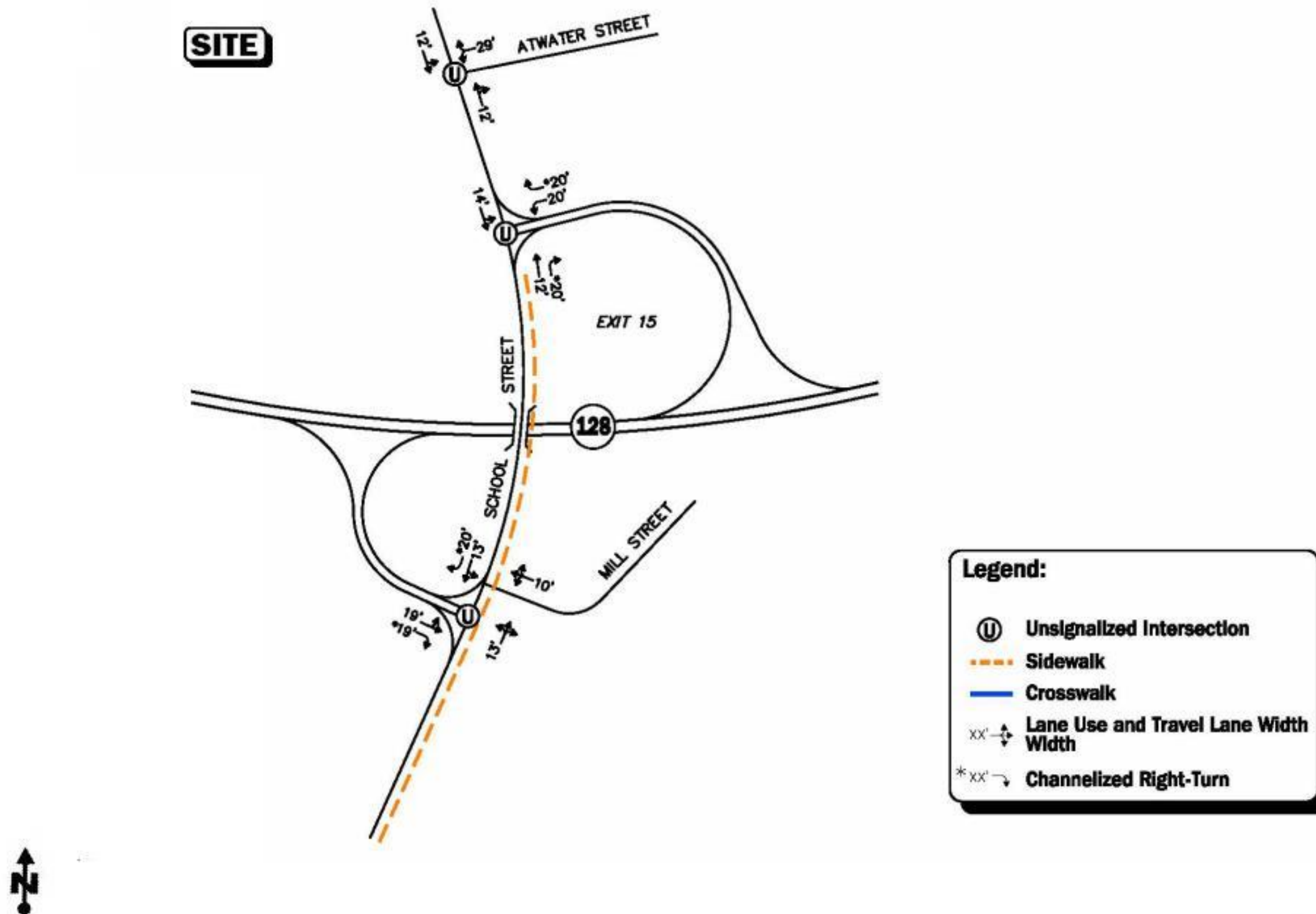
- ▶ Prepared in accordance with MassDOT's *Transportation Impact Assessment (TIA) Guidelines*;
- ▶ Includes a detailed assessment of traffic volumes, pedestrian and bicycle accommodations and public transportation services;
- ▶ Traffic volumes were adjusted following MassDOT's guidelines for data collected during the COVID-19 pandemic and used pre-COVID data to establish adjustment factors;
- ▶ The Project will not have a significant impact (increase) on motorist delays or vehicle queuing, acknowledging that one or more movements from the Route 128 off-ramps to School Street are predicted to operate at or over capacity independent of the Project;
- ▶ No apparent safety deficiencies were identified based on a review of motor vehicle crash data provided by MassDOT; and
- ▶ Lines of sight at the access point to the Project site were found to exceed the required minimum distances for the intersection to function in a safe and efficient manner.



Site Location Map



Existing Conditions



Trip Generation Summary

	Vehicle Trips		
Time Period	Entering	Exiting	Total
Average Weekday:	427	427	854
Weekday Morning Peak-Hour:	14	39	53
Weekday Evening Peak-Hour:	41	27	68

^aBased on ITE LUC 221, *Multifamily Housing (Mid-Rise)*, 157 units.





Recommendations

Site Access

- ▶ The boulevard section of the driveway should provide two (2) 14-foot wide (minimum) travel lanes separated by a 6-foot wide (minimum) raised median with openings or traversable areas every 200-feet. The non-boulevard section of the driveway should be a minimum of 22-feet in width and designed to accommodate the turning and maneuvering requirements of emergency vehicles.
- ▶ Vehicles exiting the site will be under STOP-sign control
- ▶ All signs and pavement markings should conform to the applicable standards of the Manual on Uniform Traffic Control Devices (MUTCD).
- ▶ A sidewalk will be provided within the project and ADA compliant wheelchair ramps will be provided at all pedestrian crossings within the project.
- ▶ Signs and landscaping will be designed and maintained so as not to restrict lines of sight.
- ▶ Snow windrows will be promptly removed where such accumulations would impede sight lines.



Recommendations

Off-Site

► ***School Street/Route 128 Ramps***

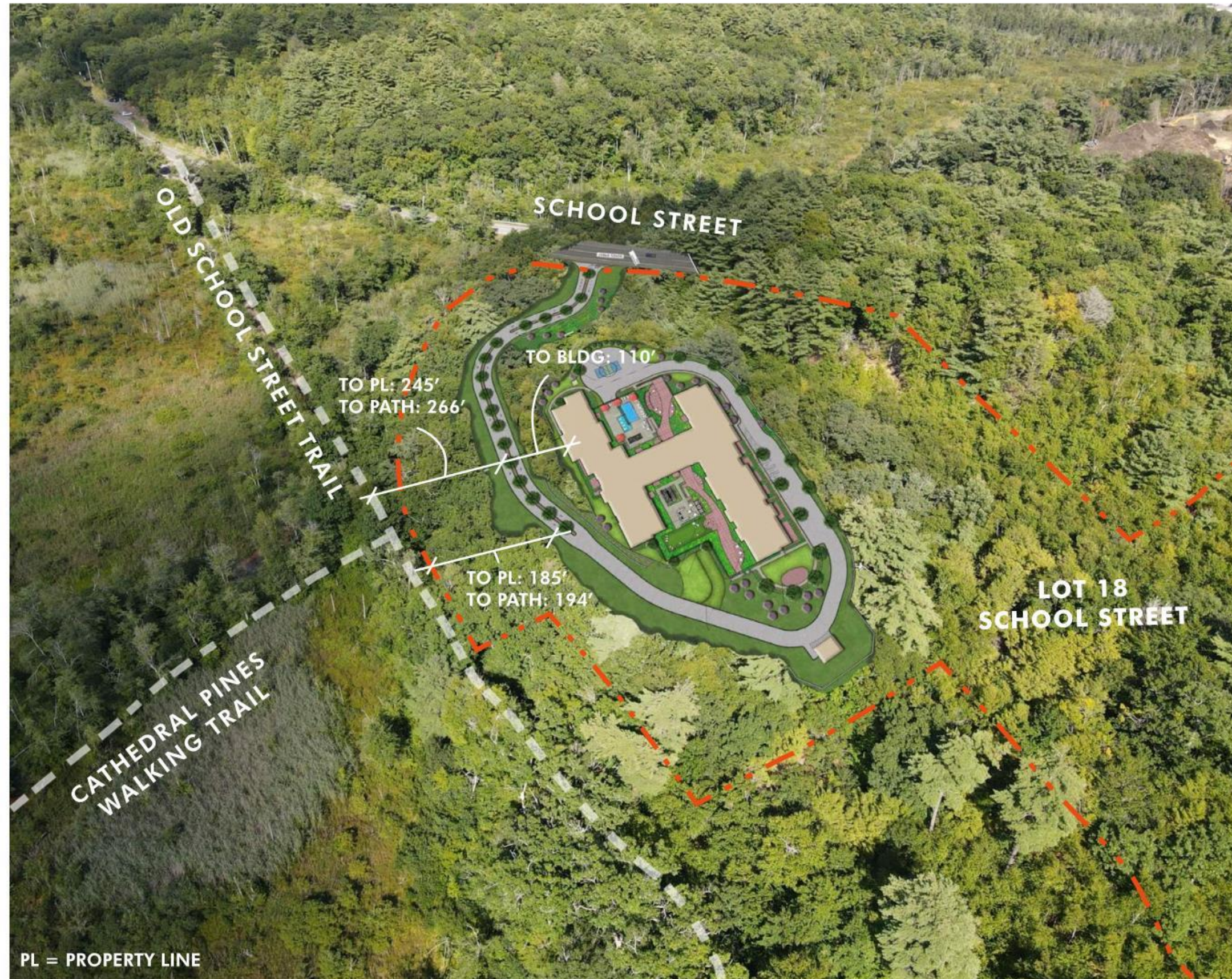
Conduct an improvement study for the Route 128 north and southbound ramp intersections with School Street, including a detailed Traffic Signal Warrants Analysis and preparing conceptual improvement plans depicting the recommended improvements.

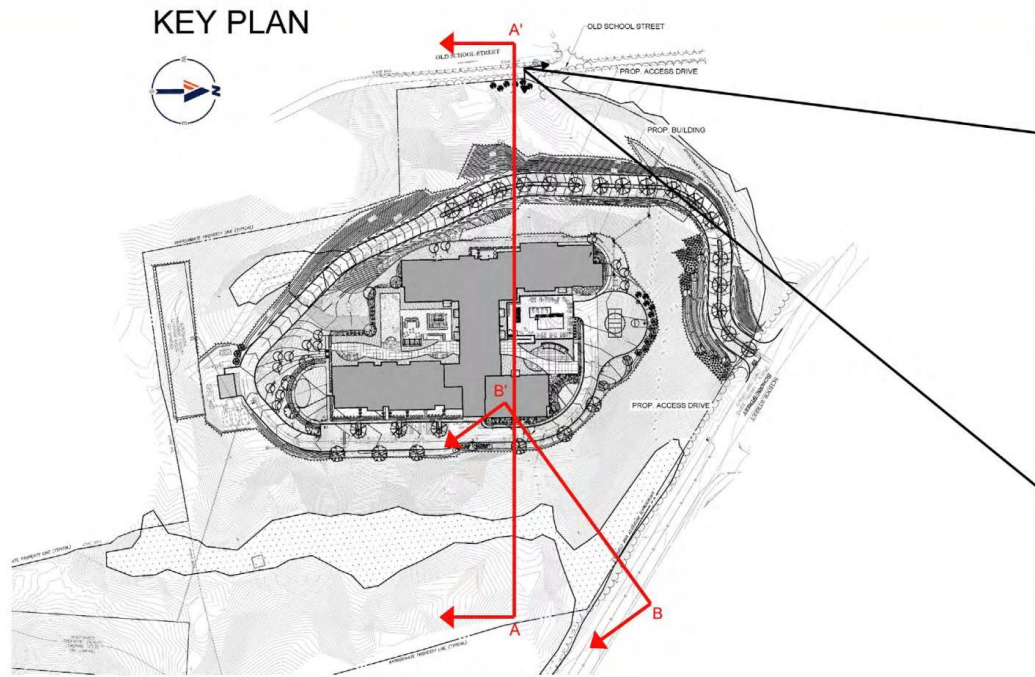
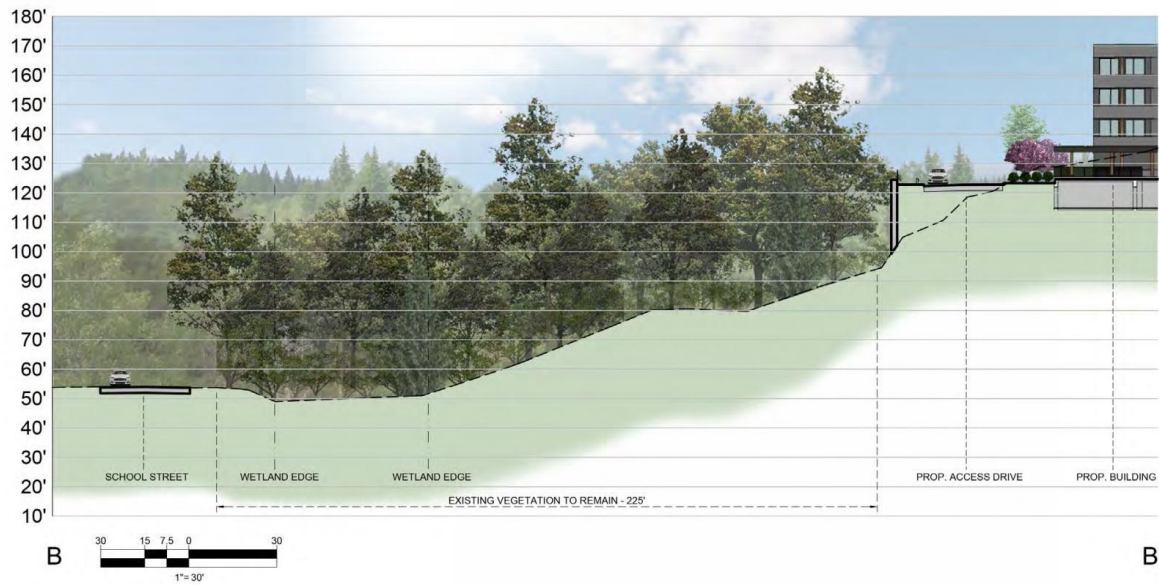
Transportation Demand Management

- Information regarding public transportation services, maps, schedules and fare information will be posted in a central location and/or otherwise made available to residents;
- A “welcome packet” will be provided to new residents detailing bicycle and walking alternatives and commuter options;
- Work-at-home workspaces will be provided to support telecommuting by residents of the Project;
- Bicycle parking will be provided consisting of both an exterior bicycle rack and weather protected bicycle parking within the parking garage.









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LANDSCAPE ARCHITECTURE
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PERMITTING SERVICES
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REVISIONS				
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PROJECT No.: W201119
DRAWN BY: RK
CHECKED BY: PM / APM / QC
DATE: 09/24/2020
CAD L.D.: CROSS-SECTION

PROPOSED SITE PLAN DOCUMENTS
FOR
STRATEGIC LAND VENTURES
PROPOSED DEVELOPMENT
LOT #18
SCHOOL STREET
TOWN OF MANCHESTER-BY-THE-SEA
ESSEX COUNTY, MASSACHUSETTS

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SHEET NUMBER:
SECTION
ORG. DATE - 05/27/2020